

**Notice of an Electronically Conducted
Regular Meeting of the Charter Township of Union
Planning Commission**

Notice is hereby given that the Charter Township of Union Planning Commission will conduct a regular meeting electronically on Tuesday, August 17, 2021 at 7:00 p.m., consistent with the emergency declarations and direction from state and county health officials to slow the spread of the COVID-19 virus and the Open Meetings Act (Public Act 267 of 1976, as amended)."

There will be no in-person attendance in the Township Hall Board Room (2010 S. Lincoln Rd., Mt. Pleasant, MI 48858), although some Planning Commission members and Township staff may choose to participate from this location.

All interested persons may attend and participate. The public may participate in the meeting by computer and smart phone using the following link to the electronic meeting location: <https://us02web.zoom.us/j/89751444718> (Meeting ID: "897 5144 4718" Passcode "038923"). The moderator will open public access to the electronic meeting space at 6:55 p.m.

To participate via telephone conference call, please call (312) 626-6799. Enter "897 5144 4718" and the "#" sign at the "Meeting ID" prompt. Lastly, re-enter the "#" sign again at the "Participant ID" prompt to join the meeting.

The meeting agenda, packet of materials relating to the meeting, and instructions for connecting to the meeting electronically are available on the Township's website under "Minutes and Board Packets" at <http://www.uniontownshipmi.com/>.

Questions and comments will be received during the public comment sections of the meeting. For participants accessing via computer or smartphone to indicate a desire to address the Planning Commission, please use the "Raise Your Hand" button at the bottom center of the screen. To raise your hand for telephone dial-in participants, press "star" and then the number "nine" (*9). The Chair will call on you by the last three digits of your phone number to invite any comment, at which time you will be unmuted by the meeting moderator.

If there are a large number of participants, the Chair may choose to call on individuals by name or telephone number. Please speak clearly and provide your name and address before making your comments. Please note that the meeting moderator will control the muting and unmuting of participants during public comment.

Written comments to the Planning Commission may also be delivered to the drop box at the Township Hall. Comments received prior to 3:00 p.m. on the day of the meeting will be read aloud to the Planning Commission.

Persons with disabilities needing assistance to participate should call the Township office at (989) 772-4600. Persons requiring speech or hearing assistance may contact the Township through the Michigan Relay Center at 711. A minimum of one (1) business day of advance notice will be necessary for accommodation.

**Instructions to Participate in an Electronically Conducted
Regular Meeting of the Charter Township of Union
Planning Commission**

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Raise Your Hand for Citizen Participation During the Public Comment Periods

Questions and comments will be received during the public comment sections of the meeting. For participants accessing via computer or smartphone to indicate a desire to address the Planning Commission, please **click on the “Raise Your Hand” icon** near the bottom of your screen.



Click “Lower Hand” to lower it if needed. The host will be notified that you have raised your hand. The Mute/Unmute function will be controlled by the meeting moderator.

To raise your hand for telephone dial-in participants, press “star” and then the number “nine” (*9). The Chair will call on you by the last three digits of your phone number to invite any comment, at which time you will be unmuted by the meeting moderator.

Do I need to download the Zoom app to access the meeting? No. Use of the Zoom app is recommended, but you will have options to “download & run Zoom” or “join from your browser” when you click on the link to join the meeting.

Can I Use Bluetooth Headset? Yes, if the Bluetooth device is compatible with the computer or mobile device that you are using.

Do I have to have a webcam to join on Zoom? While you are not required to have a webcam to join a Zoom Meeting, you will not be able to transmit video of yourself. You will continue to be able to listen and speak during public comment and view the webcam video of other participants.

Leaving the Meeting: Click the “Leave Meeting” link at the bottom right corner of the screen at any time to leave the meeting.



Planning Commission
Regular Electronic Meeting. Instructions for access will be posted and available on website
(uniontownshipmi.com) home page
August 17, 2021
7:00 p.m.

1. CALL MEETING TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. APPROVAL OF AGENDA
5. APPROVAL OF MINUTES

-August 10, 2021

6. CORRESPONDENCE / BOARD REPORTS / PRESENTATIONS
 - A. Thering updates from Board of Trustees
 - B. Buckley updates from ZBA
 - C. Darin updates from Sidewalk and Pathways
 - D. Appointment to Sidewalk & Pathway Prioritization Committee
7. PUBLIC COMMENT: Restricted to (3) minutes regarding items not on this agenda
8. NEW BUSINESS
 - A. **PSPR21-13 5048-5082 E. Pickard Rd. Dollar General Retail Store – Final Site plan Application**
 - a. **Updates from staff and the applicant**
 - b. **Commission deliberation and action (approval denial, approval with conditions, or postpone action)**
 - B. **PSPR21-14 and PSPR21-16 Summerhill Village Mobile Home Park Office-Clubhouse – Combined Preliminary and Final Site plan Application**
 - a. **Introduction**
 - b. **Updates from staff and the applicant**
 - c. **Commission deliberation and action (approval denial, approval with conditions, or postpone action)**

C. Planning for Return to In-Person Meetings
a. Memo from the Director

9. OTHER BUSINESS

10. EXTENDED PUBLIC COMMENT: Restricted to 5 minutes regarding any issue

11. FINAL BOARD COMMENT

12. ADJOURPSPR21-13NMENT

CHARTER TOWNSHIP OF UNION
Planning Commission
Special - Electronic Meeting Minutes

A special-electronic meeting of the Charter Township of Union Planning Commission was held on August 10, 2021, as a virtual meeting through the Zoom meeting platform.

Meeting was called to order at 7:00 p.m.

Roll Call

Present:

Albrecht (location: Union Township, Isabella County, MI)
Buckley (location: Union Township, Isabella County, MI)
Darin (location: Union Township, Isabella County, MI)
Fuller (location: Union Township, Isabella County, MI)
Lapp (location: Union Township, Isabella County, MI)
Squatrito (location: City of Mt. Pleasant, Isabella County, MI)
Trustee Thering (location: Union Township, Isabella County, MI)

Excused:

LaBelle
Shingles

Others Present

Rodney Nanney, Community and Economic Development Director; Peter Gallinat, Zoning Administrator, Tera Green, Administrative Assistant

Approval of Minutes

Fuller moved **Darin** supported to approval of the regular meeting minutes from June 15, 2021, as presented. **Vote: Ayes: 7 Nays: 0. Motion carried.**

Lapp moved **Albrecht** supported to approval of the regular meeting minutes from July 20, 2021, as presented. **Vote: Ayes: 7 Nays: 0. Motion carried.**

Correspondence / Reports/ Presentations

- A. Board of Trustees updates by Thering – The Board of Trustees approved the new Krist Oil Filling Station Special Use Permit Application on July 28th.
- B. ZBA updates by Buckley – Due to lack of agenda items, there was no meeting in August; there will be a meeting in September.
- C. Sidewalks and Pathway Prioritization updates by Darin – No updates given.

Approval of Agenda

Darin moved **Thering** supported to approve the agenda as presented. **Vote: Ayes: 7 Nays: 0. Motion Carried**

Public Comment

Open 7:10 p.m.

No comments were offered.

Closed 7:10 p.m.

Other Business

A. Zoning Ordinance Amendment – Punch List items

- a. Introduction by staff
- b. Commission review and discussion of the draft set of amendments
- c. Action (set a public hearing date; or postpone action with a request for additional revisions)

Updates given by Nanney of the proposed text amendments to the Zoning Ordinance No. 20-06. During Commission review and deliberation, a few typos were noted, and minor changes were requested to the proposed definition of Motor Vehicle Filling Station, the minimum fence height for day care centers was adjusted, and a new definition for “Employment Center Land Uses” was requested.

Buckley moved **Fuller** supported to set a public hearing date for the Zoning Ordinance Amendments with discussed changes made.

Roll Call Vote: Ayes: Albrecht, Buckley, Darin, Fuller, Lapp, Squattrito and Thering. Nays: 0. Motion carried.

Extended Public Comments

Open – 9:19 p.m.

No comments were offered.

Closed – 9:19 p.m.

Final Board Comment

No Comments were offered.

Adjournment – Chairman Squattrito adjourned the meeting at 9:21 p.m.

APPROVED BY:

(Recorded by Tera Green)

Doug LaBelle – Secretary
 Stan Shingles – Vice Secretary

Board Expiration Dates

Planning Commission Board Members (9 Members) 3 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	James	Thering	11/20/2024
2-Chair	Phil	Squatrito	2/15/2023
3-Vice Chair	Ryan	Buckley	2/15/2022
4-Secretary	Doug	LaBelle II	2/15/2022
5 - Vice Secretary	Stan	Shingles	2/15/2024
6	Tera	Albrecht	2/15/2024
7	Mike	Darin	2/15/2022
8	Alex	Fuller	2/15/2023
9	Jessica	Lapp	2/15/2023
Zoning Board of Appeals Members (5 Members, 2 Alternates) 3 year term			
#	F Name	L Name	Expiration Date
1- PC Rep	Ryan	Buckley	2/15/2022
2 - Chair	Andy	Theisen	12/31/2022
3 - Vice Chair	Liz	Presnell	12/31/2022
4 - Secretary	vacant seat		12/31/2021
5 - Vice Secretary	Judy	Lannen	12/31/2022
Alt. #1	Brandon	LaBelle	12/31/2022
Alt. #2	vacant seat		2/15/2021
Board of Review (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Doug	LaBelle II	12/31/2022
2	Sarvjit	Chowdhary	12/31/2022
3	Bryan	Neyer	12/31/2022
Alt #1	Randy	Golden	12/31/2022
Construction Board of Appeals (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Colin	Herron	12/31/2021
2	Richard	Jakubiec	12/31/2021
3	Andy	Theisen	12/31/2021
Hannah's Bark Park Advisory Board (2 Members from Township) 2 year term			
1	Mark	Stuhldreher	12/31/2022
2	John	Dinse	12/31/2021
Chippewa River District Library Board 4 year term			
1	Ruth	Helwig	12/31/2023
2	Lynn	Laskowsky	12/31/2021



Board Expiration Dates

EDA Board Members (11 Members) 4 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	Bryan	Mielke	11/20/2024
2	Thomas	Kequom	4/14/2023
3	James	Zalud	4/14/2023
4	Richard	Barz	2/13/2025
5	Robert	Bacon	1/13/2023
6	Marty	Figg	6/22/2022
7	Sarvjit	Chowdhary	1/20/2022
8	Cheryl	Hunter	6/22/2023
9	Jeff	Sweet	2/13/2025
10	vacant seat		2/13/2021
11	David	Coyne	3/26/2022
Mid Michigan Area Cable Consortium (2 Members)			
#	F Name	L Name	Expiration Date
1	Kim	Smith	12/31/2022
2	vacant seat		
Cultural and Recreational Commission (1 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1	Robert	Sommerville	12/31/2022
Sidewalks and Pathways Prioritization Committee (2 year term -PC Appointments)			
#	F Name	L Name	Expiration Date
1 - BOT Representative	Kimberly	Rice	11/20/2024
2 - PC Representative	Mike	Darin	8/15/2022
3 - Township Resident	Jeff	Siler	8/15/2021
4 - Township Resident	Jeremy	MacDonald	10/17/2022
5 - Member at large	Phil	Hertzler	8/15/2021
Mid Michigan Aquatic Recreational Authority (2 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1 - City of Mt. Pleasant	John	Zang	12/31/2023
2 - City of Mt. Pleasant	Judith	Wagley	12/31/2022
1 -Union Township	Stan	Shingles	12/31/2023
2 - Union Township	Allison	Chiodini	12/31/2022
1- Mt. Pleasant Schools	Lisa	Diaz	12/31/2021

**APPOINTMENT TO BOARDS & COMMISSIONS
OF CHARTER TOWNSHIP OF UNION
APPLICATION**

FIVE
JUL 21 2021
BY:

Name: Phil Hertzler Date: 7/2/2021

Address: 2113 McDonald Drive

Phone (home) _____ (cell) 989-488-8540 (work) 989-774-2393

Email: hertzlerpl@yahoo.com

Occupation: Professor, CMU

Please State in order of preference, area(s) of interest:

_____ Zoning Board of Appeals Must be a Union Township Resident

_____ Board of Review Must be a Union Township Resident

_____ Planning Commission Must be a Union Township Resident

_____ EDA Must meet one of the following qualifications:
_____ Property owner in East or West DDA
_____ Property owner in East or West DDA
_____ Resident in Union Township

1 OTHER *Specify Board: Sidewalks and Pathways Prioritization Committee

Please state reason(s) for interest in above board(s):

I'm a runner and bicyclist on Union township sidewalks, pathways, and roads. I'd like to
complete "sidewalks to nowhere" to destinations such as township parks.

Other information that you feel would be useful in your application review (i.e., past experience, past board membership, etc. A resume is encouraged with the application):

I served as a founding member of this Committee, and helped draft the guiding document. I would
like to continue serving on this Committee after completion of a shortened 3-month term.

Signature:  Date: 7/20/2021



APPOINTMENT TO BOARDS & COMMISSIONS
OF CHARTER TOWNSHIP OF UNION
APPLICATION

Name: Jeff Siler Date: 8/16/21

Address: 2013 Cobblestone Ct

Phone (home) 9897721812 (cell) 616-215-8053 (work) 989-772-1812

Email: jeff.siler.private@meemic.com

Occupation: Business Owner - Jeff Siler Agency (Meemic / AAA Insurance)

Please State in order of preference, area(s) of interest:

- Zoning Board of Appeals Must be a Union Township Resident
- Board of Review Must be a Union Township Resident
- Planning Commission Must be a Union Township Resident
- EDA Must meet one of the following qualifications:
 - Property owner in East or West DDA
 - Property owner in East or West DDA
 - Resident in Union Township

OTHER *Specify Board: Sidewalk & Pathway Prioritization Committee

Please state reason(s) for interest in above board(s):

Wanting to continue on the board to continue the work that we have discussed. Being new to the area this is a great opportunity to try get to know the area and try and better my community.

Other information that you feel would be useful in your application review (i.e., past experience, past board membership, etc. A resume is encouraged with the application):

I am a current board member

Signature:  Date: 8-16-21

Charter Township of Union

APPLICATION FOR SITE PLAN REVIEW

Minor Site Plan
 Preliminary Site Plan
 Final Site Plan

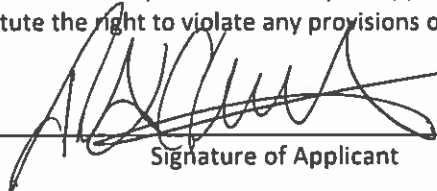
A Completed Application will contain all the information required per the Zoning Ordinance, Section 14.2 (Site Plan Review).

Name of Proposed Development/Project _____		Dollar General, Union Township	
Common Description of Property & Address (if issued) _____		5048 E. Pickard Road	
Lot 25, lot 4, lot 5, part of lot 3, part of lot 16, Wards View Subdivision			
Applicant's Name(s) _____		Midwest V, LLC	
Phone/Fax numbers _____	616-842-2030	Email _____	pete@westwind.build
Address _____		1435 Fulton St. Second Floor	City: Grand Haven Zip: 49417

Legal Description: <input checked="" type="checkbox"/> Attached	<input checked="" type="checkbox"/> Included on Site Plan	Tax Parcel ID Number(s):	37-14-146-00-003-00
Existing Zoning: B-7	Land Acreage: 1.2	Existing Use(s):	Res (vacated) and vacant
ATTACHED: Letter describing the project and how it conforms to Section 14.2.S. (Standards for Site Plan Approval)			

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name: Jozwiak Consulting Phone: 231-218-1201 Email: scott@jozwiakconsulting.com 2. Address: 13300 S W Bayshore Dr. City: Traverse City State: _____ Zip: 49684 Contact Person: Scott Jozwiak Phone: 231-218-1201
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name: See attached. Phone: _____ Address: _____ City: _____ State: _____ Zip: _____ Signature: _____ Interest in Property: _____ 2. Name: _____ Phone: _____ Address: _____ City: _____ State: _____ Zip: _____ Signature: _____ Interest in Property: _____

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and/or removal of work installed. Approval of this plan shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.



 Signature of Applicant

5/21/21

 Date

Office Use Only

Application Received By: _____ Fee Paid: \$ _____

Date Received: _____ Escrow Deposit Paid: \$ _____

Preliminary Site Plan Review Procedure

Each preliminary site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

Effect of Preliminary Site Plan Approval

Approval of a preliminary site plan by the Planning Commission shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas in accordance with the standards for preliminary site plan approval specified in subsection 14.2(S). The Planning Commission may, at its discretion and with appropriate conditions attached, authorize limited work to begin for soils exploration, incidental site clearing, and other preliminary site work as specified in the authorization.

Outside Agency Approvals

The applicant shall be responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval.

Final Site Plan Review Procedure

Each final site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

Effect of Final Site Plan Approval

Approval of a final site plan by the Planning Commission constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met.

Minor Site Plan Review Procedure

A minor site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee, and two (2) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and site plans, at a maximum sheet size of 11 inches by 17 inches, at the Township Hall. The Zoning Administrator shall review the application materials and site plan for completeness, accuracy, and compliance with all applicable requirements and standards of this Ordinance and other Township ordinances.

The minor site plan shall be approved by the Zoning Administrator upon determination that all required information for the type of site plan has been provided per subsection 14.2(P), the site plan satisfies the applicable standards for site plan approval per subsection 14.2(S); and the site plan conforms to all other applicable requirements and standards of this Ordinance and other Township ordinances.

CHARTER TOWNSHIP OF UNION

SITE PLAN REVIEW

HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: _____

Name of business owner(s): _____

Street and mailing address: _____

Telephone: _____

Fax: _____

Email: _____

I affirm that the information submitted is accurate.

Owner(s) signature and date: _____

Information compiled by: _____

Types and Quantities of Hazardous Substances and Polluting Materials Used, Stored or Generated On-Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on -site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

COMMON NAME	CHEMICAL NAME (components)	FORM	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
<p style="text-align: center;"><u> </u> NONE</p>	<p>KEY: LiQ. = liquid P.LIQ = pressurized liquid S = solids G = gas PG = pressurized gas</p>			<p>KEY: AGT = above ground tank DM = drums UGT = underground tank Cy = cylinders CM = metal cylinders CW = wooden or composition container TP = portable tank</p>

Section 14.2 Site Plan Review (excerpts)

A. Purpose and Scope.

The purposes of this Section are to establish uniform requirements of procedure for review of site plans for new development in the Township; to confirm compliance with this Ordinance and other Township ordinances prior to the start of construction; and to ensure that development in the Township is consistent with the adopted policies of the Township’s Master Plan.

B. Authority.

Flexible standards have been established to ensure that the type of review and amount of required information is proportional to the project’s scale and intensity. The Planning Commission shall have the authority to review and take action on preliminary site plan and final site plan applications and the Zoning Administrator shall have authority to review and take action on minor site plan applications, all in accordance with this Section and Ordinance.

1. Preliminary site plan. Requirements for a preliminary site plan are intended to allow for review of the general character of the proposed use(s), general site layout, and location of structures and other site improvements; and to confirm that the overall development can conform to Ordinance requirements.
2. Final site plan. A final site plan is a set of engineering, architectural, and/or landscape design drawings that satisfy all applicable requirements of this Ordinance and outside agencies with jurisdiction, which are prepared by registered design professionals based on an approved preliminary site plan and depict all planned building, pedestrian access, parking, grading, drainage, infrastructure, exterior lighting, and other site improvement details for a given lot and development project.
3. Minor site plan. The reduced information requirements for a minor site plan submittal, as specified in Section 14.2(P) (Required Site Plan Information), are intended to allow for administrative review of a limited range of low intensity projects that do not include significant engineering or design details.

C. Site Plan Approval Required.

No permits shall be issued, no construction of or addition to any structure shall take place, and no land use for which site plan approval is required shall be established or expanded until all required site plans have been approved in accordance with this Section and Ordinance. Except as permitted in accordance with this Section, no grading, grubbing, cutting of trees or other vegetation, excavation, landfilling, or construction of improvements shall commence for any development for which site plan approval is required until all required site plans have been approved in accordance with the following:

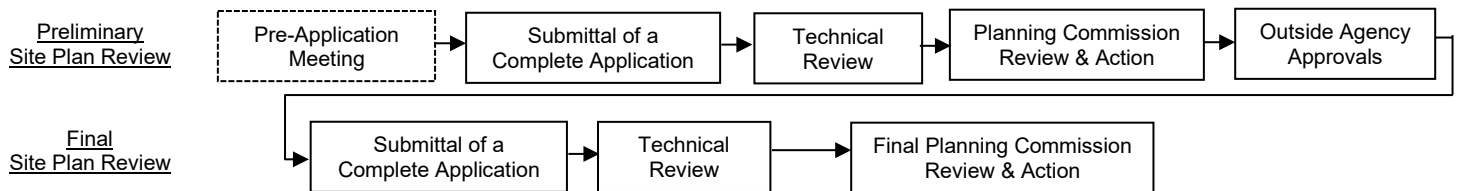
Site Plan Approval Required	Type of Approval Required			
	Preliminary Site Plan	Final Site Plan	Minor Site Plan	Exempt
Adult foster care large group homes, group child day care homes, and home-based limited businesses subject to special use permit approval in the zoning district per Section 3.			✓	
All other land uses subject to special use permit approval in the zoning district, and all land uses for which site plan approval is otherwise required by provisions of this Ordinance.	✓	✓		
Farm-based tourism and entertainment activities (agri-tourism), public stables, permanent auction facilities, and religious institutions as allowed in the Agricultural (AG) District per Section 3.	✓	✓		
Private off-road courses as allowed in the Agricultural (AG) District per Section 3.			✓	
Customary agricultural operations, private stables, and greenhouses as allowed in the Agricultural (AG) and Rural Residential (R-1) zoning districts per Section 3, provided that the structures and improvements shall conform to all applicable Ordinance standards.				✓
Construction, relocation or alteration of a two family (duplex) dwelling, detached single family dwelling or customary accessory structures on a single lot, provided that the structures and improvements shall conform to all applicable Ordinance standards.				✓

Site Plan Approval Required	Type of Approval Required			
	Preliminary Site Plan	Final Site Plan	Minor Site Plan	Exempt
Home occupations that conform to the requirements of Section 6.19.				✓
Family day care homes, adult foster care family homes and small group homes, and child foster family homes and family group homes, as licensed by the State of Michigan.				✓
Multiple-family residential buildings and uses, independent or dependent senior housing, assisted living facilities, nursing homes; homes for the aged, and religious institutions as allowed in the Residential Districts per Section 3.	✓	✓		
All land uses allowed in the Business Districts and Industrial Districts per Section 3.	✓	✓		
All planned unit development (PUD) projects, as approved by the Township Board in accordance with Section 3.18.	✓	✓		
Construction or expansion of buildings, equipment storage yards, and associated above-ground site improvements occupied by or intended for occupancy by essential services in any zoning district.	✓	✓		
The improvement, expansion, extension or abandonment of public or private overhead or underground utility lines or easements.				✓
Any development which would, if approved, provide for the establishment of more than one principal use or building on a lot.	✓	✓		
Establishment or alteration of a condominium subdivision of an existing building into separate units in accordance with the Condominium Act and Section 5.1 of this Ordinance provided that no new construction or alteration of existing buildings or site improvements are proposed or required, and compliance with the requirements and standards of this Ordinance will not be affected.			✓	
Establishment or alteration of any other condominium subdivision in accordance with the Condominium Act and Section 5.1.	✓	✓		
A change in use for an existing multiple-family, mixed use or non-residential building where the Zoning Administrator has determined that no new construction or alteration of the building or site improvements are required and compliance with the requirements and standards of this Ordinance will not be affected.			✓	
Any other change in use for an existing multiple-family, mixed use or non-residential building.	✓	✓		
Expansion of an existing multiple-family, mixed use or non-residential principal building of up to ten percent (10%) of the gross floor area, and any alterations that affect the exterior appearance, pedestrian access or function of the building without a floor area increase.			✓	
Expansion of an existing multiple-family, mixed use or non-residential principal building exceeding ten percent (10%) of the gross floor area.	✓	✓		
Relocation of a multiple-family, mixed use or non-residential building.	✓	✓		
Establishment or alteration of a multiple-family, mixed use or non-residential accessory use or structure where the Zoning Administrator has determined that compliance with the requirements and standards of this Ordinance will not be affected.			✓	
Any other establishment or alteration of any other multiple-family, mixed use or non-residential accessory use or structure,	✓	✓		
Expansion of any multiple-family, mixed use or non-residential off-street parking facility by up to 2,750 square feet.			✓	

Site Plan Approval Required	Type of Approval Required			
	Preliminary Site Plan	Final Site Plan	Minor Site Plan	Exempt
Expansion of any multiple-family, mixed use or non-residential off-street parking facility exceeding 2,750 square feet.	✓	✓		
Construction, extension or alteration of a private road, as authorized by Ord. No. 2009-09, that is located outside of a subdivision plat.	✓	✓		
Incidental changes during construction due to unanticipated site constraints or outside agency requirements, and minor landscaping changes or species substitutions, consistent with an approved final site plan.			✓	
Incidental building modifications that do not significantly alter the facade, height or floor area of a multiple-family, mixed use or non-residential building.			✓	
Changes to a site required to comply with State Construction Code requirements.			✓	
Sidewalk or pedestrian pathway construction, or barrier-free improvements.			✓	
Construction of fences, exterior lighting improvements, or installation of screening around a waste receptacle, mechanical unit or similar equipment for a multiple-family, mixed use or non-residential use.			✓	
Re-occupancy of an existing multiple-family, mixed use or non-residential building that has been vacant for more than 365 calendar days, provided that no variances to the requirements of this Ordinance are required and the proposed use will be conducted within a completely enclosed building, and will not require access changes or other substantial modifications to the existing site.			✓	

1. Extraction operations. For extraction operations as authorized under the Township’s Extraction Ordinance No. 20-01, Planning Commission approval of an Extraction Permit and associated mining and reclamation plans shall also constitute site plan approval for the use under this Ordinance.
2. Mobile home parks. Construction, expansion or alteration of a mobile housing park shall be subject to preliminary plan approval in accordance with Section 3.12 and the procedures and standards established under Section 11 of the Mobile Home Commission Act (Public Act 96 of 1987, as amended), as summarized below:
 - a. The preliminary plan shall include the location, layout, general design, and general description of the project. The preliminary plan shall not include detailed construction plans.
 - b. In preparing the preliminary plan and when reviewing the plan, the developer and Planning Commission shall generally follow the review procedure outlined in this Section for preliminary site plan approval, where applicable, except where pre-empted by requirements of the Mobile Home Commission Act or Manufactured Housing Rules.
 - c. Pursuant to Section 11 of the Mobile Home Commission Act, the Planning Commission shall take action on the preliminary plan within 60 days after the Township officially receives the plan.

D. Summary of the Site Plan Review Processes.



NOTE: Applicant may combine preliminary and Final Site Plan Review, per Section 14.2(M)

P. Required Site Plan Information.

The following minimum information shall be included with any application for site plan approval, except where the Township Planner, Zoning Administrator or Planning Commission determines that an item of information is not applicable or necessary for review of the site plan:

Minimum Site Plan Information	Minor Site Plan	Preliminary Site Plan	Final Site Plan
SITE PLAN DESCRIPTIVE INFORMATION			
Name, address, and other contact information for the applicant and property owners, along with proof of ownership and signed consent if applicant is not the owner.	●	●	●
Name, address, and other contact information of the firm or individual preparing the site plan. Site plans prepared by an architect, community planner, engineer, landscape architect or land surveyor shall bear the individual's professional seal.	●	●	●
A final site plan shall be prepared and sealed by an architect, engineer, landscape architect or land surveyor registered in the State of Michigan.			●
Location, address(es), and tax identification number(s) of subject parcel(s); dimensions of the site, and the gross and net land area.	●	●	●
Legal description(s) of the subject parcel(s).		●	●
Legal description of the proposed development site and any non-contiguous open space area(s), if different from the subject parcel(s), with lot line angles or bearings indicated on the plan. Dimensions, angles, and bearings shall be based upon a boundary survey prepared by a registered surveyor.		●	●
Details of existing and proposed covenants or other restrictions imposed upon land or buildings, including bylaws, deed restrictions, and articles of incorporation for a cooperative, condominium, or homeowners' association.			●
Description of applicant's intentions regarding selling or leasing of all or portions of land, dwelling units or building spaces.		●	●
Residential projects: Gross and net dwelling unit density, lot area per dwelling unit, and a schedule of the number, sizes (bedrooms, floor areas), and types of dwellings.		●	●
A detailed use statement describing proposed use(s); including land or building areas for each use, number of units, number of anticipated employees, or other applicable information to verify Ordinance compliance.	●	●	●
SITE PLAN DATA AND NOTES			
Minor site plans shall be drawn to a scale appropriate for the sheet size and of such accuracy that the Zoning Administrator can readily interpret the plan.	●		
Preliminary and final site plans shall be drawn to an engineer's scale not greater than 1:50 and legible at the required sheet size. For a large development shown in sections on multiple sheets, one overall composite sheet shall be provided for clarity.		●	●
Vicinity map showing the general location of the site, map scale, north arrow, initial plan date, and any revision date(s).	●	●	●
Existing zoning classification(s) for the subject parcel(s) and surrounding parcels (including across road rights-of-way).		●	●
Owners' names, existing uses, and location of structures, drives, and improvements on surrounding parcels (including across rights-of-way).		●	●
Identification of all adjacent property in which the applicant(s), developer(s), or owner(s) have an ownership interest.		●	●
Dimensions of all property boundaries and interior lot lines.	●	●	●
Calculations for parking, lot coverage, total ground floor area, and other applicable Ordinance requirements.	●	●	●

Minimum Site Plan Information	Minor Site Plan	Preliminary Site Plan	Final Site Plan
EXISTING CONDITIONS			
Location of existing structures, fences, and driveways on the subject property, with notes regarding their preservation or alteration.	●	●	●
Location of existing walls, signs, utility poles and towers, pipelines, excavations, bridges, culverts, and other site features on the subject property, with notes regarding their preservation or alteration.		●	●
SITE PLAN DETAILS			
Delineation of required yards, and other setback areas and open space.	●	●	●
Identification of general location(s) and area(s) of each development phase; and the planned construction program and schedule for each development phase.		●	●
Location, width, purpose, and description of all existing and proposed easements and rights-of-way on or adjacent to the site.	●	●	●
Location, type, area, height, and lighting specifications of proposed signs.	●		●
An exterior lighting plan with all existing and proposed lighting locations, heights from grade, specifications, lamps types, and methods of shielding.	●		●
Location, area, and dimensions of any outdoor sales, display or storage areas.	●	●	●
Location of proposed outdoor waste receptacle enclosures; with size, elevation, and vertical cross-section showing materials and dimensions; indication how recycling will be implemented.		●	●
BUILDING DESIGN AND ORIENTATION			
Location, outline, ground floor area, and height of proposed structures; and of existing structures to remain on-site.	●	●	●
Dimensions, number of floors, and gross and net floor area of proposed principal buildings; and of existing principal buildings to remain on-site.		●	●
Separation distances between adjacent buildings, and between buildings and adjacent lot boundaries.		●	●
Detailed exterior building façade elevation drawings for all proposed dwellings, principal buildings, and additions, drawn to an appropriate scale and indicating types, colors, and dimensions of finished wall materials.		●	●
Finished floor elevations and contact grade elevations for proposed principal buildings and existing principal buildings to remain on-site, referenced to a common datum acceptable to the Township Engineer.			●
ACCESS AND CIRCULATION			
Locations, layout, surface type, centerlines, road pavement and right-of-way widths, and indication of public or private road status for all existing and proposed roads and access drives serving the site.		●	●
Conceptual locations, layout, and surface type for all parking lots, sidewalks, and pedestrian pathways within and accessing the site.	●	●	●
Locations and dimensions of vehicle access points, and distances between adjacent or opposing driveways and road intersections.	●	●	●
Details of the location, width, and paving of proposed sidewalks and pedestrian ways, including alignment, cross section, connections to existing or planned off-site facilities, and easement or right-of-way dedications.	●		●
Parking space dimensions, pavement markings, and traffic control signage.	●	●	●

Minimum Site Plan Information	Minor Site Plan	Preliminary Site Plan	Final Site Plan
Parking space angles; maneuvering aisle, island, and median dimensions; surface type; fire lanes; drainage patterns; location of loading areas; and typical cross-section showing surface, base, and sub-base materials.		●	●
Identification of proposed names for new public or private roads serving the site.		●	●
Spot elevations for existing roads on and adjacent to the subject parcel(s), including surface elevations at intersections with the internal roads and drives serving the proposed development; curve-radii and road grades; location and details of curbs, and turning lanes; and typical road cross sections showing surface, base, and sub-base materials and dimensions.			●
NATURAL FEATURES AND OPEN SPACE AREAS			
A general description and preliminary delineation of existing natural features on and abutting the site.		●	●
Details of all existing natural features on the site; indications of features to be preserved, removed, or altered; and any mitigation measures as may be required by Township ordinance or state statute.			●
Outdoor open space and recreation areas; location, area, and dimensions.		●	●
Description of the organization that will own and maintain open space and recreation areas, and a long-term maintenance plan for such areas.			●
SCREENING AND LANDSCAPING			
General layout of proposed landscaping and screening improvements; including plantings, topographic changes, and similar features.	●	●	●
A detailed landscape plan, including location, size, quantity and type of proposed plant materials and any existing plant materials to be preserved.			●
Planting list for all landscape materials, with the method of installation, botanical and common name, quantity, size, and height at planting.			●
Landscape maintenance plan, including notes regarding replacement of dead or diseased plant materials.			●
Proposed fences, walls, and other screening devices, including typical cross section, materials, and height above grade.	●	●	●
Screening methods for any waste receptacle areas, ground-mounted generators, transformers, mechanical (HVAC) units, and similar devices.	●	●	●
UTILITIES, STORMWATER MANAGEMENT, AND GRADING			
General layout of existing and proposed water supply systems, sanitary sewerage or septic systems, and stormwater management facilities.		●	●
Details of the location, layout, and size or capacity of the existing and proposed potable water supply and sewage treatment and disposal facilities serving the site, including line sizes, inverts, hydrants, flow patterns, manholes, and catch basins.			●
Location, size, and slope of proposed detention or retention ponds; and location and size of underground tanks and drain lines where applicable.			●
Calculations for capacity of stormwater management and drainage facilities.			●
Location and size of existing and proposed telephone, gas, electric, and similar utility lines and surface-mounted equipment.			●
General areas of intended filling or cutting.		●	●
Directional arrows showing existing and proposed drainage patterns on the lot.	●		●

Minimum Site Plan Information	Minor Site Plan	Preliminary Site Plan	Final Site Plan
A detailed grading plan, with details of proposed filling or cutting, existing and proposed topography at a minimum of two (2) foot contour levels, stormwater runoff drainage patterns, and a general description of grades within 100 feet of the site. All finished contour lines are to be connected to existing contour lines within the site or at the parcel boundaries.			●
Locations, dimensions, and materials of proposed retaining walls, with fill materials and typical vertical sections.		●	●
Description of measures to control soil erosion and sedimentation during construction operations, and until permanent groundcover is established.			●
Other information as requested by the Township Planner, Zoning Administrator or Planning Commission to verify compliance with the standards and conditions imposed by this Ordinance, the policies of the Township Master Plan, and other applicable Township ordinances or state statutes.	●	●	●

Q. Expiration and Extension of Site Plan Approval.

Site plan approvals shall expire and may be extended in accordance with the following:

1. Expiration of preliminary site plan approval. Approval of a preliminary site plan shall be valid for a period of 545 calendar days from the date of approval and shall expire and be of no effect unless an application for final site plan approval for all or part of the area included in the approved preliminary site plan is filed with the Township Clerk within that time period.
2. Expiration of final site plan approval. A final site plan shall expire and be of no effect unless construction has begun on the property and is diligently pursued in conformance with the approved final site plan within 545 calendar days of the final site plan approval.
3. Extension of preliminary or final site plan approval. The Planning Commission may, at its discretion and upon written request and showing of good cause by the applicant, grant an extension of a preliminary or final site plan approval for up to 365 calendar days, provided that site conditions have not changed in a way that would affect the character, design or use of the site, and that the approved site plan remains in conformance with applicable provisions of this Ordinance.
4. Expiration of Minor Site Plan Approval. A minor site plan shall expire and be of no effect unless, within 365 calendar days of approval, appropriate permits have been approved, construction has begun on the property, and such work is diligently pursued in conformance with the approved minor site plan. No extensions of minor site plan approval shall be granted by the Zoning Administrator.

R. Phasing of Development.

The applicant may divide the development into two (2) or more phases. Phasing shall be subject to the following requirements:

1. In the case of a phased development, the preliminary site plan shall cover the entire property involved and shall clearly indicate the location, size, and character of each phase.
2. In the case of a phased development, a final site plan shall be submitted for review and approval for each phase.
3. A phase shall not be dependent upon subsequent phases for safe and convenient vehicular and pedestrian access, adequate utility services, or open spaces and recreation facilities, and shall be capable of substantial occupancy, operation, and maintenance upon completion of construction and development.
4. The Township Planner or Planning Commission may require the applicant to post an acceptable performance guarantee to ensure that vehicular and pedestrian ways, utility services, open space and recreation facilities, and other amenities and infrastructure planned for later phases of the development are completed in a timely fashion.

S. Standards for Site Plan Approval.

In reviewing a minor, preliminary or final site plan, the Zoning Administrator or Planning Commission shall determine that the following standards are met, as applicable to the type of site plan:

Standards for Site Plan Approval	Minor Site Plan	Preliminary Site Plan	Final Site Plan
The applicant is legally authorized to apply for site plan approval, and all required information has been provided.	●	●	●
The proposed development conforms to the applicable standards and conditions imposed by this Ordinance and other applicable Township ordinances.	●	●	●
The final site plan is consistent with the policies of the Master Plan and other adopted Township planning documents, and with the approved preliminary site plan.			●
The proposed development will be harmonious with and not harmful, injurious, or objectionable to the environment or land uses in surrounding area.	●	●	●
The proposed development respects natural topography, floodways, and floodplains; and minimizes the amount and extent of cutting and filling.		●	●
Organic, wet, or other soils that are not suitable for development will be undisturbed or modified in such fashion as to make development feasible.		●	●
The movement of the vehicular and pedestrian traffic within the site and in relation to access streets and sidewalks will be safe and convenient.	●	●	●
The proposed development is adequately coordinated with improvements serving the area, and with other existing or planned development in the vicinity.		●	●
Satisfactory and harmonious relationships will exist between the proposed development and the existing and planned development of contiguous lands and the surrounding area, including provisions for proper extensions of public roads and sidewalks through the development in accordance with the Township ordinances.		●	●
Development phases are in logical sequence so that any phase will not depend upon a subsequent phase for access, utilities, drainage or erosion control.		●	●
The plan, including all engineering drawings, meets Township standards for fire and police protection, water supply, sewage disposal or treatment, storm drainage, and other public facilities and services.			●
The drainage plan conforms to applicable drainage and stormwater management standards, and any proposed improvements are adequate to handle anticipated stormwater runoff and accommodate upstream drainage without causing undue runoff on to neighboring property or overloading of area watercourses.			●
Proposed screening, buffering, and landscaping improvements are adequate for the location and intended purpose and conform to the standards of this Ordinance.	●		●
Exterior lighting conforms to Ordinance requirements and standards, and will not adversely affect adjacent or neighboring properties or traffic on adjacent roads.	●		●
The parking layout and vehicular circulation patterns and access points to the site are adequate to serve the proposed uses and will not adversely affect the flow of traffic on adjacent roads or create pedestrian-vehicle conflicts.	●		●
Grading or filling will not destroy or adversely affect the character of the property, adjacent properties or the surrounding area.			●
Erosion will be controlled during and after construction and will not adversely affect adjacent or neighboring property or public facilities or services.			●
The plan meets applicable standards of governmental agencies with jurisdiction, and necessary outside agency approvals have been obtained or are assured.	●		●

PERMIT INFORMATION CHECKLIST FOR FINAL SITE PLANS

Michigan.gov/EGLEpermits

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has prepared a list of key questions to help identify what EGLE permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from EGLE, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: Michigan.gov/EHSGuide. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the EGLE programs noted below. [insertions and edits by Union Township]

How Do I Know that I Need a State of Michigan, County or Local Permit or Approval?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
1) Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)? Air Quality Permit to Install, Air Quality Division (AQD), Permit Section	Y <input type="checkbox"/>	N <input type="checkbox"/>
2) Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos. Asbestos Notification, AQD, Asbestos Program , 517-284-6777	Y <input type="checkbox"/>	N <input type="checkbox"/>
3) Please consult the Permitting at the Land and Water Interface Decision Tree document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?). Land and Water Featured Programs (Water Resources Division - WRD) - Joint Permit Application , 517-284-5567:		
a. Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input type="checkbox"/>
b. Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input type="checkbox"/>
c. Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input type="checkbox"/>
d. Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input type="checkbox"/>
4) Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction) or does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? Union Township and Isabella County	Y <input type="checkbox"/>	N <input type="checkbox"/>
5) Does the project involve the construction or alteration of a water supply system? Union Township Public Services Department and Drinking Water & Environmental Health Division (DWEHD), 517-284-6524	Y <input type="checkbox"/>	N <input type="checkbox"/>
6) Does the project involve construction or alteration of any sewage collection or treatment facility? Union Township Public Services Department and WRD, Part 41 Construction Permit Program (staff) , 906-228-4527, or EGLE District Office	Y <input type="checkbox"/>	N <input type="checkbox"/>
7) Public Swimming Pool Construction (Spas/Hot Tubs) Permits: Will your business involve the construction or modification of a public swimming pool, spa or hot tub? Union Township and Public Swimming Pool Program , 517-284-6541, or EGLE District Office	Y <input type="checkbox"/>	N <input type="checkbox"/>
8) Does the project involve the construction or modification of a campground? Union Township and DWEHD,Campgrounds program , 517-284-6529	Y <input type="checkbox"/>	N <input type="checkbox"/>

9) Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground? Materials Management Division (MMD), Solid Waste , 517-284-6588, or EGLE District Office	Y <input type="checkbox"/>	N <input type="checkbox"/>
10) Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste? MMD, Hazardous Waste Section, Treatment, Storage and Disposal , 517-284-6562	Y <input type="checkbox"/>	N <input type="checkbox"/>
Who Regulates My Drinking (Potable) Water Supply?		
11) I am buying water from the municipal water supply system Contact the Union Township Public Services Dept.	Y <input type="checkbox"/>	N <input type="checkbox"/>
12) I have a Non-Community Water Supply (Type II) Guide , Contact (District or County) Local Health Department , 517-485-0660	Y <input type="checkbox"/>	N <input type="checkbox"/>
13) I am a community water supply (Type I) Community Water Supply, DWEHD District Office Community Water Supply Program , 517-284-6512	Y <input type="checkbox"/>	N <input type="checkbox"/>
14) Do you desire to develop a withdrawal of over 2,000,000 gallons of water per day from any source including groundwater, inland surface water, or the Great Lakes and their connecting waterways? WRD, Great Lakes Shorelands Unit, Water Use Program, 517-284-5563	Y <input type="checkbox"/>	N <input type="checkbox"/>
Who Regulates My Wastewater Discharge System?		
15) NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? WRD, EGLE District Office , or National Pollutant Discharge Elimination (NPDES) Permit Program , 517-284-5568	Y <input type="checkbox"/>	N <input type="checkbox"/>
16) Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? WRD, Permits Section , or EGLE District Office , 517-284-5588	Y <input type="checkbox"/>	N <input type="checkbox"/>
17) Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)? WRD, Groundwater Permits Program , 517-290-2570	Y <input type="checkbox"/>	N <input type="checkbox"/>
18) Does the project involve the drilling or deepening of wells for waste disposal? Oil, Gas and Minerals Division (OGMD), 517-284-6841	Y <input type="checkbox"/>	N <input type="checkbox"/>
What Operational Permits Are Relevant to My Operation and Air Emissions?		
19) Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? AQD, Permit Section , 517-284-6634	Y <input type="checkbox"/>	N <input type="checkbox"/>
20) Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel? AQD, Acid Rain Permit Program , 517-780-7843	Y <input type="checkbox"/>	N <input type="checkbox"/>
What Operational Permits Are Relevant to My Waste Management?		
21) Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground? MMD , 517-284-6588 or EGLE District Office	Y <input type="checkbox"/>	N <input type="checkbox"/>
22) Does the project involve the on-site treatment, storage, or disposal of hazardous waste? MMD, Hazardous and Liquid Waste , 517-284-6562	Y <input type="checkbox"/>	N <input type="checkbox"/>
23) Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (Hazardous Waste Program Forms & License Applications) MMD, EGLE District Office , 517-284-6562	Y <input type="checkbox"/>	N <input type="checkbox"/>

24) Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form? MMD, Radioactive Material and Standards Unit , 517-284-6581	Y <input type="checkbox"/>	N <input type="checkbox"/>
25) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD Radioactive Material and Standards Unit , 517-284-6581	Y <input type="checkbox"/>	N <input type="checkbox"/>
26) Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal? MMD, Medical Waste Regulatory Program , 517-284-6594	Y <input type="checkbox"/>	N <input type="checkbox"/>
What Sector-Specific Permits May be Relevant to My Business?		
Transporters	Y <input type="checkbox"/>	N <input type="checkbox"/>
27) Does the project involve the <i>transport</i> of some other facility's non-hazardous liquid waste? MMD, Transporter Program , 517-284-6562	Y <input type="checkbox"/>	N <input type="checkbox"/>
28) Does the project involve the <i>transport</i> of hazardous waste? MMD, Transporter Program , 517-284-6562	Y <input type="checkbox"/>	N <input type="checkbox"/>
29) Do you engage in the business of transporting bulk water for drinking or household purposes (except for your own household use)? DWEHD, Water Hauler Information , 517-284-6527	Y <input type="checkbox"/>	N <input type="checkbox"/>
30) Does the project involve <i>transport</i> of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground? DWEHD, Septage Program , 517-284-6535	Y <input type="checkbox"/>	N <input type="checkbox"/>
31) Do you store, haul, shred or process <i>scrap tires</i> ? MMD, Scrap Tire Program , 517-284-6586	Y <input type="checkbox"/>	N <input type="checkbox"/>
Sectors	Y <input type="checkbox"/>	N <input type="checkbox"/>
32) Is the project a <i>dry cleaning</i> establishment utilizing perchloroethylene or a flammable solvent in the cleaning process? AQD, Dry Cleaning Program , 517-284-6780	Y <input type="checkbox"/>	N <input type="checkbox"/>
33) Does your <i>laboratory</i> test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act? Laboratory Services Certifications , 517-284-5424	Y <input type="checkbox"/>	N <input type="checkbox"/>
34) Does the project involve the operation of a <i>public swimming pool</i> ? DWEHD, Public Swimming Pools Program , 517-284-6529	Y <input type="checkbox"/>	N <input type="checkbox"/>
35) Does the project involve the operation of a <i>campground</i> ? Union Township and DWEHD, Campgrounds , 517-284-6529	Y <input type="checkbox"/>	N <input type="checkbox"/>
What Permits Do I Need to Add Chemicals to Lakes and Streams?		
36) Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc.) in a water body (i.e. lake, pond or river)? WRD, Aquatic Nuisance Control , 517-284-5593	Y <input type="checkbox"/>	N <input type="checkbox"/>
37) Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? WRD, Surface Water Assessment Section , 517-331-5228	Y <input type="checkbox"/>	N <input type="checkbox"/>

Why would I be subject to Oil, Gas and Mineral Permitting?

38) Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)? OGMD, Petroleum Geology and Production Unit , 517-284-6826	Y <input type="checkbox"/>	N <input type="checkbox"/>
39) Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline? OGMD, Minerals and Mapping Unit, Sand Dune Mining Program , 517-284-6826	Y <input type="checkbox"/>	N <input type="checkbox"/>
40) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD, Radioactive Protection Programs , 517-284-6581	Y <input type="checkbox"/>	N <input type="checkbox"/>
<p>Petroleum & Mining, OGMD, 517-284-6826</p> <p>41) Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?</p> <p>42) Does the project involve the surface or open-pit mining of metallic mineral deposits?</p> <p>43) Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?</p> <p>44) Does the project involve mining coal?</p> <p>45) Does the project involve changing the status or plugging of a mineral well?</p> <p>46) Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?</p>	<p>Y <input type="checkbox"/></p> <p>Y <input type="checkbox"/></p> <p>Y <input type="checkbox"/></p> <p>Y <input type="checkbox"/></p> <p>Y <input type="checkbox"/></p> <p>Y <input type="checkbox"/></p>	<p>N <input type="checkbox"/></p> <p>N <input type="checkbox"/></p> <p>N <input type="checkbox"/></p> <p>N <input type="checkbox"/></p> <p>N <input type="checkbox"/></p> <p>N <input type="checkbox"/></p>

Contact **Union Township** and [EGLE Permits & Bonding](#), OGMD, 517-284-6841



Site Plan Review Process:

Contact Information for Outside Agencies

Required Agency Contact Information

Mt. Pleasant Fire Department

Lt. Brad Doecker
804 E. High St.
Mt. Pleasant, MI 48858
Office: 989-779-5122
Cell Phone: 989-506-1442.
Email: bdoecker@mt-pleasant.org

Isabella County Drain Office – Stormwater Management

Timothy A. Warner, Project Manager
Rm 140, 200 N. Main Street
Mt. Pleasant, MI 48858
Ph# (989) 772-0911, ext. 222
Fax# (989) 779-8785
Email: twarner@isabellacounty.org

Charter Township of Union Department of Public Services

Kim Smith, Public Works Department Director
5228 South Isabella Road
Mt. Pleasant, MI 48858
Phone (989) 772-4600 ext. 224
Fax (989) 773-1988
ksmith@uniontownshipmi.com

Isabella County Road Commission

Patrick J. Gaffney, PE, Engineer Superintendent
2261 E. Remus Rd.
Mt. Pleasant, MI 48858
989-773-7131 x115
989-772-2371 fax
pgaffney@isabellaroads.com

Isabella County Transportation Commission

Rick Collins, Executive Director
2100 E. Transportation Dr.
Mt. Pleasant, MI 48858
Phone 989-773-6766
Fax 989-773-1873
rcollins@ictcbus.com

Optional Agency Contact Information

Michigan Transportation Department (Only required when work done in M-20 ROW) *

Ben Burrows
Mt. Pleasant TSC
1212 Corporate Drive
Mount Pleasant, MI 48858
989-775-6104 ext. 305
burrowsb@michigan.gov

City of Mt. Pleasant - Division of Public Works (Only required for Mt Pleasant city water/sewer) *

Stacie Tewari, P.E., LEED® AP
City Engineer
1303 N. Franklin Avenue
Mt. Pleasant, MI 48858
Phone: 989.779.5404
Fax: 989.772.6250
stewari@mt-pleasant.org

Isabella County Soil Erosion & Sedimentation Control

200 N. Main St.
Mt. Pleasant, MI 48858
989-317-4061

Central Michigan District Health Department

2012 E. Preston
Mt. Pleasant, MI 48858
989-773-5921

DTE

111 E. Pickard St.
Mt Pleasant, MI 48858
989-772-9061

Miss Dig

1-800-482-7171

May 19, 2021

Planning Commission
Charter Township of Union
2010 S. Lincoln
Mt. Pleasant, MI 48858

RE: Request for Site Plan Review
5048/5082 E Pickard Rd
Parcel ID's 14-146-00-003-00 / 14-146-00-005-00
Current Zoning: B-7

Dear Commissioners:

The current owners of the above parcel are seeking to secure site plan approval for a new retail business to be located on the above stated parcels. The proposal includes construction of a new retail store on parcels that currently vacant with the exception of a small vacated house. The property is located between Burger King and the Pickard Party Store. We are proposing a single new commercial curb cut and the existing two residential curb cuts will be removed. The parking lot capacity is 35 spaces along with one load space. Ample maneuvering aisle widths are provided to allow for patrons to easily move around on the property. There is a dumpster located at the rear of the building and it will be screened per the detail provided. Minimal grading is proposed for construction and is mainly an effort to get stormwater runoff to move toward the catch basin inlets. Stormwater outlets into an infiltration basin with capacity exceeding the volume of runoff anticipated from a 100 year storm event. The landscape plan is intended to follow the requirements of the ordinance.

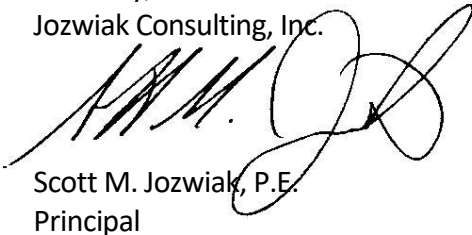
The store is a single story, 10,640 building. We have provided preliminary plans for your review. The building is 20' tall along the front facade which includes a parapet wall to hide the roof mounted mechanical equipment from the front. The building roof slopes from north to south with the south facing eave being 14' tall. The materials for the store include brick, split face block and metal wall panel. Canopies are located along the front and the east elevation.

We are proposing to deed 1/3 acre of the parcel to either the township or DDA to provide a corridor for a future interconnection between commercial properties within this block. Access management and interconnectivity can be difficult to achieve. We propose to deed the land and at the time of redevelopment of other commercial, the underlying entity (i.e. Township or DDA) could then construct the corridor commencing at Burger King and ending at Florence. This proposal is stemmed from an interconnectivity meeting that included Township, MDOT, this developer and the owner of the Burger King. Burger King is not interested in changing their parking at this time but if/when they do, they indicated preference for a connection near the southernmost portion of their property. In light of this, we were able to keep our development needs towards the front of the parcel which leaves this corridor available for this purpose.

The developer intends to retain ownership and lease to the retailer. The business will require 4 employees per day (2 shifts of 2). The retail store will sell general merchandise including health, personal care, beauty, food, household, pet, baby, apparel, toys, etc.

We are submitting for Preliminary and Final approval. We are hopeful that we can obtain both approvals at that meeting. It is our intent to fully comply with the Zoning Ordinance. We have made application for permits with both Isabella County for SESC permit and MDOT for the right of way permit. We anticipate having these approvals prior to the meeting on June 15th. We look forward to presenting this project at the June 15th planning commission meeting.

Sincerely,
Jozwiak Consulting, Inc.

A handwritten signature in black ink, appearing to read "S.M. Jozwiak", with a large, stylized flourish at the end.

Scott M. Jozwiak, P.E.
Principal

Standard for Site Plan Approval (Owner Provided)

1. **The applicant is legally authorized to apply for site plan approval, and all required information has been provided.**
 - a. A copy of letters of authorization are provided with the application.
2. **The proposed development conforms to the applicable standards and conditions imposed by this Ordinance and other applicable Township ordinances.**
 - a. The proposed project meets the requirements of the township ordinance as well as other agency requirements.
 - b. Permits applications were submitted to MDOT and Isabella County Community Development for Soil Erosion Control permit.
 - c. We will work with Township DPW for sewer and water connections
 - d. It is our intent to comply with permit requirements.
3. **The final site plan is consistent with the policies of the Master Plan and other adopted Township planning documents, and with the approved preliminary site plan.**
 - a. The Master Plan identifies the parcels that we are developing as being commercial. The proposed retail business is commercial and thereby follows the intent of the Master Plan policy from a use perspective.
 - b. Natural Resources: The property has little topography and no significant natural features. The rear of the parcel does have larger trees. It is our intent to leave these areas alone as we are proposing to deed this area to the municipality (either township or DDA) for the use of an interconnection to adjacent parcels.
 - c. Growth Management Boundary: The project is located within an established commercial corridor and does not seek to expand the growth management boundary.
 - d. Low Impact Design: The proposed project seeks to create an area behind the proposed building for use as a stormwater infiltration basin. Soils exist on this site that provide high infiltration rates which in turn provides for groundwater recharge. The basin will be grass which provides nutrient uptake as well as keeps the soils “broken up” to allow for continued operation with minimal degradation. Catch basin structures provide sediment traps and can be easily maintained.
 - e. Complete Streets: The project is located within the DDA. This area has user friendly sidewalks and caters to many different transportation means besides just vehicles. The proposed project includes sidewalk connection to the walk along Pickard and includes bicycle parking in accordance with the ordinance. This sidewalk network provides uninterrupted connectivity with the business.
 - f. Access Management: The project team along with Township and MDOT officials held a meeting with Burger King to discuss the possibility of connectivity. Burger King is not in a position to enact a change to their site at this time but prefers to make a connection (if required during a future redevelopment of their site) at the southern end of their property. In light of this and after considering our site plan layout and needs, it was determined that a beneficial solution would be to offer the southern end of our property to the municipality (either township or DDA) as a means for interconnecting all of the parcels. This provides many benefits to implementing a more complete access strategy for businesses within that block. There would be no cost for the real estate but

development of this corridor could be completed by the new underlying entity at the time it is warranted. This effort is completely in line with the Access Management direction as we are providing additional means of access to this commercial district. We are also providing surplus land to accommodate stormwater management for the new corridor.

- g. Retail/Service Design: The building is proposed to have split face CMU along the bottom, Bella Brick along the center of the front facade and dark bronze metal wall panels above. The balance of the building will be prefinished sandstone beige wall panels. This break in materials will aid in reducing the building mass. A windowed entrance area is provided and the colors are subtle providing a sense of place. A nine foot wide sidewalk along the front of the store provides a comfortable walking environment. The entrance is connected to the walkway along Pickard. Landscaping is provided in accordance with the ordinance. The loading zone is located to the rear of the building. A set of service doors are all that is needed. Roof top equipment will be hidden from Pickard but will not be screened from the side or rear.
4. **The proposed development will be harmonious with and not harmful, injurious, or objectionable to the environment or land uses in surrounding area.**
 - a. The proposed retail store is a use routinely found in a commercial district. The use, other than producing customer traffic, does not cause undue harm. Retail sales are supported by neighborhood districts so providing this amenity in the commercial district and close the residentially zoned areas is very affective at fulfilling needs for the immediate area while also providing this within walking distance.
 5. **The proposed development respects natural topography, floodways, and floodplains; and minimizes the amount and extent of cutting and filling.**
 - a. The site has very little topography and the area of our disturbance requires very little tree clearing. It is not in a floodway and does not require extensive cutting and filling.
 6. **Organic, wet, or other soils that are not suitable for development will be undisturbed or modified in such fashion as to make development feasible.**
 - a. Not applicable to this site.
 7. **The movement of the vehicular and pedestrian traffic within the site and in relation to access streets and sidewalks will be safe and convenient.**
 - a. Pedestrian: The project includes a wide (9 foot) sidewalk along the front of the store and a 5' sidewalk along the side. There is a sidewalk interconnection to the walkway along Pickard that doesn't require crossing through the parking lot.
 - b. Bicycle: Two bicycle spaces are provided along the sidewalk network to the store.
 - c. Vehicular: Ample maneuvering lanes provide vehicles with plenty of maneuverability. These same maneuvering lanes are used by delivery vehicles. To not require significantly more impervious surface than what is shown, truck deliveries are restricted to off hours in order to negate any truck/car interference and to allow the truck the use of the entire parking lot for its maneuvering needs. We do meet the loading space section of the ordinance since we have ample width in our maneuvering lane to allow the truck to park along the sidewalk on the east side of the building and still have the required 26' maneuvering lane for vehicle parking.
 8. **The proposed development is adequately coordinated with improvements serving the area, and with**

other existing or planned development in the vicinity.

- a. This standard is subjective and we feel that we meet it.
9. **Satisfactory and harmonious relationships will exist between the proposed development and the existing and planned development of contiguous lands and the surrounding area, including provisions for proper extensions of public roads and sidewalks through the development in accordance with the Township ordinances.**
 - a. Our effort to provide the property necessary to construct an access corridor along the south side of the business district in this block will be the beginning of a great relationship as other properties redevelop. This access will encourage and allow for better redevelopment options for those parcels abutting it and the challenges that they would have faced when they redevelop are circumvented by the future development of this interconnection.
10. **Development phases are in logical sequence so that any phase will not depend upon a subsequent phase for access, utilities, drainage or erosion control.**
 - a. The project is intended to develop in a single phase. One exception is that the township or DDA may not construct a service drive until warranted by the redevelopment of other parcels that abut it.
11. **The plan, including all engineering drawings, meets Township standards for fire and police protection, water supply, sewage disposal or treatment, storm drainage, and other public facilities and services.**
 - a. Emergency Services: The layout provides ample maneuverability for fire and police since the parking lot maneuvering lanes are wide.
 - b. Water/Sewer: The retail store is a very low water user. Domestic water use is around 300 gallons per day which is roughly equivalent to a single family home. Irrigation needs will increase that figure. To our knowledge, this project will not impose any significant increases to the demands of water or sewer.
 - c. Stormwater: The proposed project is capable of managing a storm in excess of a 100 year frequency event which surpasses normal design standards for on-site stormwater management.
 - d. Other public facilities: Unknown what these may be but continue to state that this is a low impact use relative to public services and utilities in general.
12. **The drainage plan conforms to applicable drainage and stormwater management standards, and any proposed improvements are adequate to handle anticipated stormwater runoff and accommodate upstream drainage without causing undue runoff on to neighboring property or overloading of area watercourses.**
 - a. The parcel is very flat and we are creating a large basin to insure that larger storm events are adequately managed. However, in the event of a very significant event, contouring proves that water will move towards Florence along the route of the deeded property.
13. **Proposed screening, buffering, and landscaping improvements are adequate for the location and intended purpose and conform to the standards of this Ordinance.**
 - a. The intent is to meet the requirements of the landscaping section of the ordinance and will work with township staff to comply.

- 14. Exterior lighting conforms to Ordinance requirements and standards, and will not adversely affect adjacent or neighboring properties or traffic on adjacent roads.**
 - a. The intent is to meet the requirements of the lighting ordinance. A photometric plan is provided for review.
- 15. The parking layout and vehicular circulation patterns and access points to the site are adequate to serve the proposed uses and will not adversely affect the flow of traffic on adjacent roads or create pedestrian-vehicle conflicts.**
 - a. As mentioned prior, we worked with MDOT and township staff to work towards access management with input from the owner of the Burger King parcel. During that discussion, MDOT agreed with that an entrance at the location proposed would be the best and we have subsequently applied for that permit.
 - b. We will continue to work with township staff and MDOT on improving the pedestrian interaction across our vehicle entrance.
- 16. Grading or filling will not destroy or adversely affect the character of the property, adjacent properties or the surrounding area.**
 - a. Minimal grading is proposed and is primarily necessitated to move stormwater runoff to the catch basin locations.
- 17. Erosion will be controlled during and after construction and will not adversely affect adjacent or neighboring property or public facilities or services.**
 - a. A complete SESC plan is provided
- 18. The plan meets applicable standards of governmental agencies with jurisdiction, and necessary outside agency approvals have been obtained or are assured.**
 - a. The development group has extensive history with similar projects and is well aware of other permits and documentation that will be necessary. These include but are not limited to:
 - Demolition of house: Follow local, state and federal guidelines for analysis of the existing structure and procure all necessary permits prior to demolition. This would also include utility disconnects. Demolition will follow all conditions identified in those documents and permits.
 - Following receipt of MDOT, SESC, and permits issued by the township, the developer will secure a building permit.
 - The proposed project does not require any EGLE review.

DOLLAR GENERAL®

PROPOSED RETAIL BUILDING UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

GENERAL SITE NOTES
ALL CONSTRUCTION, WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE CURRENT APPLICABLE LOCAL, COUNTY, STATE OR FEDERAL SPECIFICATIONS AND DETAILS.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS GOVERNING THE FURNISHING AND USE OF SAFEGUARDS, SAFETY DEVICES AND PROTECTION EQUIPMENT. THE CONTRACTOR SHALL TAKE ANY NECESSARY PRECAUTIONS TO PROTECT THE LIFE AND HEALTH OF EMPLOYEES AND THE PUBLIC IN THE PERFORMANCE OF THE WORK.

ANY CHANGES IN PLANS OR SPECIFICATIONS MUST BE REVIEWED BY THE PROJECT ENGINEER, ARCHITECT AND/OR THE OWNER.

THE LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES, AS SHOWN ON THE DRAWINGS, ARE APPROXIMATE AND MAY NOT BE COMPLETE. LOCATIONS ARE BASED ON PREVIOUS CONSTRUCTION PLANS, DATED AS-BUILTS AND UTILITY FLAGGING AS DISCOVERED IN THE FIELD. NO GUARANTEE IS MADE THAT ALL UTILITIES AND STRUCTURES ARE SHOWN.

REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.

SOIL EROSION CONTROL
SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK.

THE SOIL EROSION CONTROL MEASURES SHOWN ARE THE MINIMUM CONTROLS TO BE USED ON THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES TO PROTECT THE DISTURBED AREAS AND ADJACENT PROPERTIES FROM ACCELERATED EROSION AND SEDIMENTATION RESULTING FROM PROJECT CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.

SHOULD ADDITIONAL SOIL EROSION CONTROL MEASURES BE DETERMINED NECESSARY, THEY SHALL BE PLACED NO LATER THAN 24 HOURS FROM THE TIME OF NOTIFICATION TO THE GENERAL CONTRACTOR. IF NOT INSTALLED, ALL ON SITE CONSTRUCTION WILL BE HALTED UNTIL SUCH MEASURES HAVE BEEN INSTALLED AND APPROVED.

ALL DISTURBED AREAS SHALL BE TOPSOILED WITH A MINIMUM OF 4" OF TOPSOIL, SEEDING AND MULCHED. THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING GROUND COVER ON AREAS DISTURBED BY CONSTRUCTION AND SHALL REPAIR ALL WASHOUTS AND EROSION DURING THE GUARANTEE PERIOD OF ONE (1) YEAR AFTER GROUND COVER IS ESTABLISHED, AT NO ADDITIONAL COST TO THE OWNER.

ALL SEDIMENT DROPPED OR ERODED ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE ROADS SHALL BE REMOVED AT THE END OF EACH WORKING DAY.

ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.

ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.

DEMOLITION
ALL DEMOLITION SHALL BE IN ACCORDANCE WITH STATE AND FEDERAL CODES.

SPECIAL CARE SHALL BE TAKEN IN EXCAVATING IN THE PROXIMITY OF ALL UTILITIES. THE CONTRACTOR SHALL SECURE ASSISTANCE FROM THE APPROPRIATE UTILITY COMPANY IN LOCATING ITS LINES. THE CONTRACTOR SHALL ALSO PROVIDE SUPPORT FOR ANY UTILITY WITHIN THE EXCAVATION, PROVIDE PROPER COMPACTION UNDER ANY UNDERMINED UTILITY STRUCTURE AND, IF NECESSARY, INSTALL TEMPORARY SHEETING OR USE A TRENCH BOX TO MINIMIZE THE EXCAVATION. THE CONTRACTOR SHALL PROTECT AND SAVE HARMLESS FROM DAMAGE ALL UTILITIES, WHETHER PRIVATELY OR PUBLICLY OWNED ABOVE OR BELOW GROUND SURFACE, WHICH MAY BE ENCOUNTERED DURING CONSTRUCTION.

UTILITY LEAD WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES BY THE CONTRACTOR. WHERE UTILITIES ARE TO BE REINSTALLED OR RELOCATED, COORDINATE THESE ACTIVITIES WITH DEMOLITION WORK.

ALL DEMOLITION MATERIAL SHALL BE REMOVED FROM THE PROPERTY AND DISPOSED OF IN A LEGALLY DESIGNATED DISPOSAL AREA. NO ON-SITE BURNING WILL BE PERMITTED. PERMITS AND FEES FOR DISPOSAL OF DEMOLITION MATERIAL SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

EXCAVATED AREAS, HOLES, OPEN BASEMENTS, AND OTHER HAZARDOUS OPENINGS SHALL BE FILLED WITH CLEAN GRANULAR MATERIAL MEETING MDOT CLASS II REQUIREMENTS. BACKFILL SHALL BE PLACED IN 8"-10" LIFTS LOOSE MEASURE AND COMPACTED TO 95% MAX. DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR (ASTM D 1557).

AT THE COMPLETION OF THE DEMOLITION OPERATIONS, THE ENTIRE WORK AREA SHALL BE LEFT IN A CLEAN CONDITION WITH ANY PROTECTIVE DEVICES AND BARRIERS REMOVED. ALL EXPOSED AREAS SHALL BE SUITABLY TOPSOILED, SEEDING AND MULCHED. ALL REPLACED OR REPAIRED ITEMS TO BE DONE TO EQUAL OR BETTER CONDITIONS.

SITE REMEDIATION
REFER TO SOILS REPORT FOR ALL SITE WORK AND BUILDING FOUNDATION PREPARATION.

EARTHWORK
CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ANY EARTHWORK CALCULATIONS NECESSARY. ENGINEER WILL WORK WITH THE CONTRACTOR TO AMEND GRADES AS DEEMED NECESSARY, WHERE POSSIBLE.

EXCESS TOPSOIL SHALL BE REMOVED FROM SITE.

ALL FILLED AREAS SHALL BE COMPACTED AND MOISTURE CONDITIONED. ALL BASE MATERIAL SHALL BE COMPACTED TO 95% OF ITS MAXIMUM UNIT WEIGHT.

PARKING LOT GRADING IN BARRIER FREE AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION. ALL BARRIER FREE ROUTES SHALL NOT EXCEED A 2% CROSS SLOPE AND 5.0% GRADE ALONG THE ROUTE UNLESS A CURB RAMP IS INDICATED.

CONTRACTOR SHALL REFER TO BUILDING PLANS FOR FOUNDATION EXCAVATION.

GRAVEL PLACEMENT MUST COMPLY WITH THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

GRADES AROUND THE BUILDING PAD SHALL BE SLOPED AWAY FROM THE STRUCTURE.

SANITARY SEWER SERVICE
CONNECTION TO EXISTING MUNICIPAL SEWER SYSTEM IS PROPOSED.

WATER SERVICE
A NEW CONNECTION TO MUNICIPAL WATER MAIN IS PROPOSED FOR DOMESTIC WATER SUPPLY. NO FIRE SUPPRESSION IS REQUIRED FOR THIS BUILDING.

CONCRETE FLAT WORK
ALL CONCRETE SHALL BE A MINIMUM OF 4,000 PSI OR AS PRESCRIBED IN THE ARCHITECTURAL PLANS.

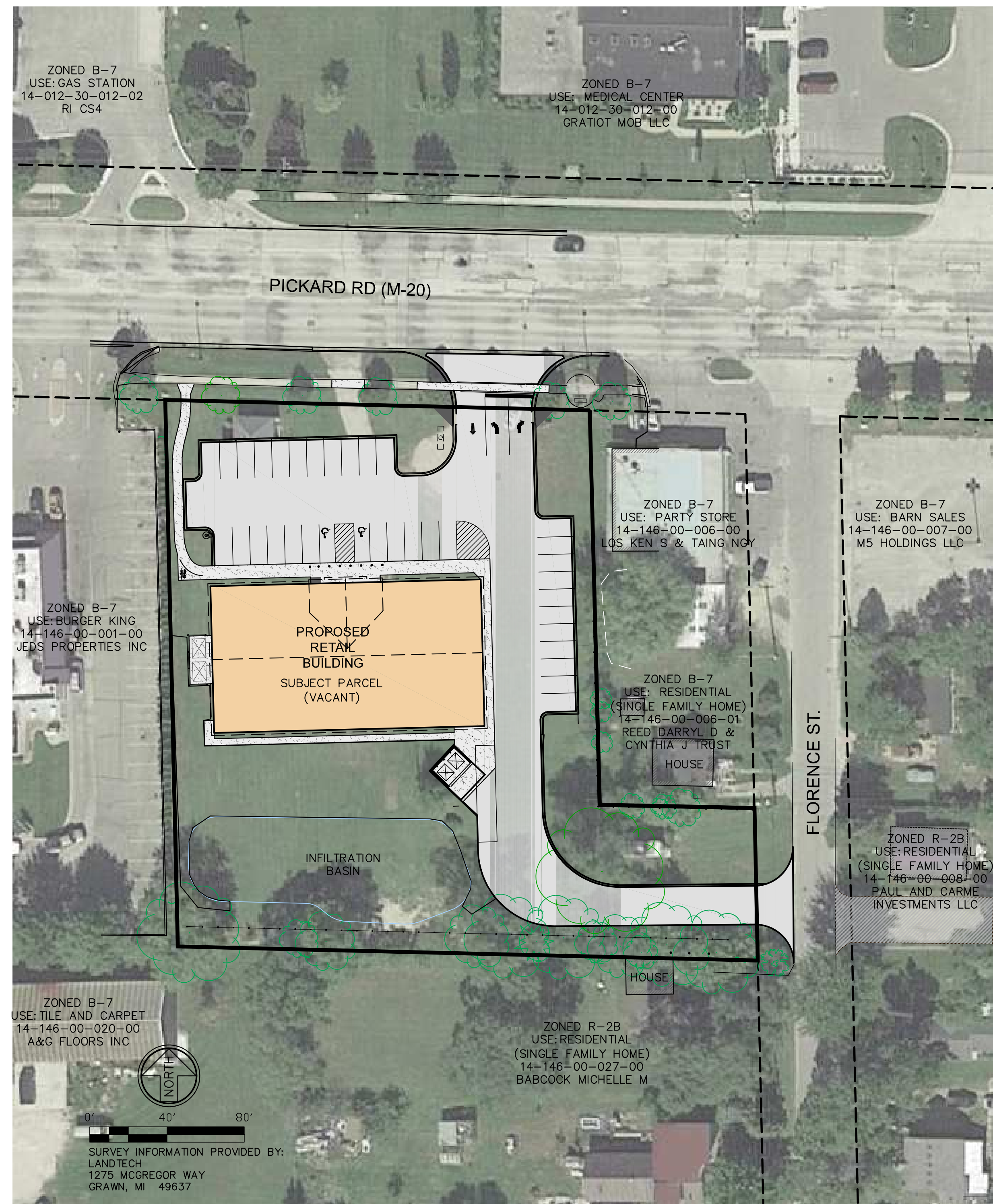
SITE LIGHTING
LIGHTING IS PROPOSED IN THIS PACKAGE AND TO BE INSTALLED BY ELECTRICAL CONTRACTOR.

BUILDING MOUNTED LIGHTING SHALL BE IN ACCORDANCE WITH THE TOWNSHIP LIGHTING ORDINANCE AND REVIEWED BY ZONING ADMINISTRATOR PRIOR TO INSTALLATION.

LIGHTING CONTRACTOR SHALL SECURE APPROVAL FROM MUNICIPALITY PRIOR TO SELECTING AND INSTALLING LIGHT FIXTURES.

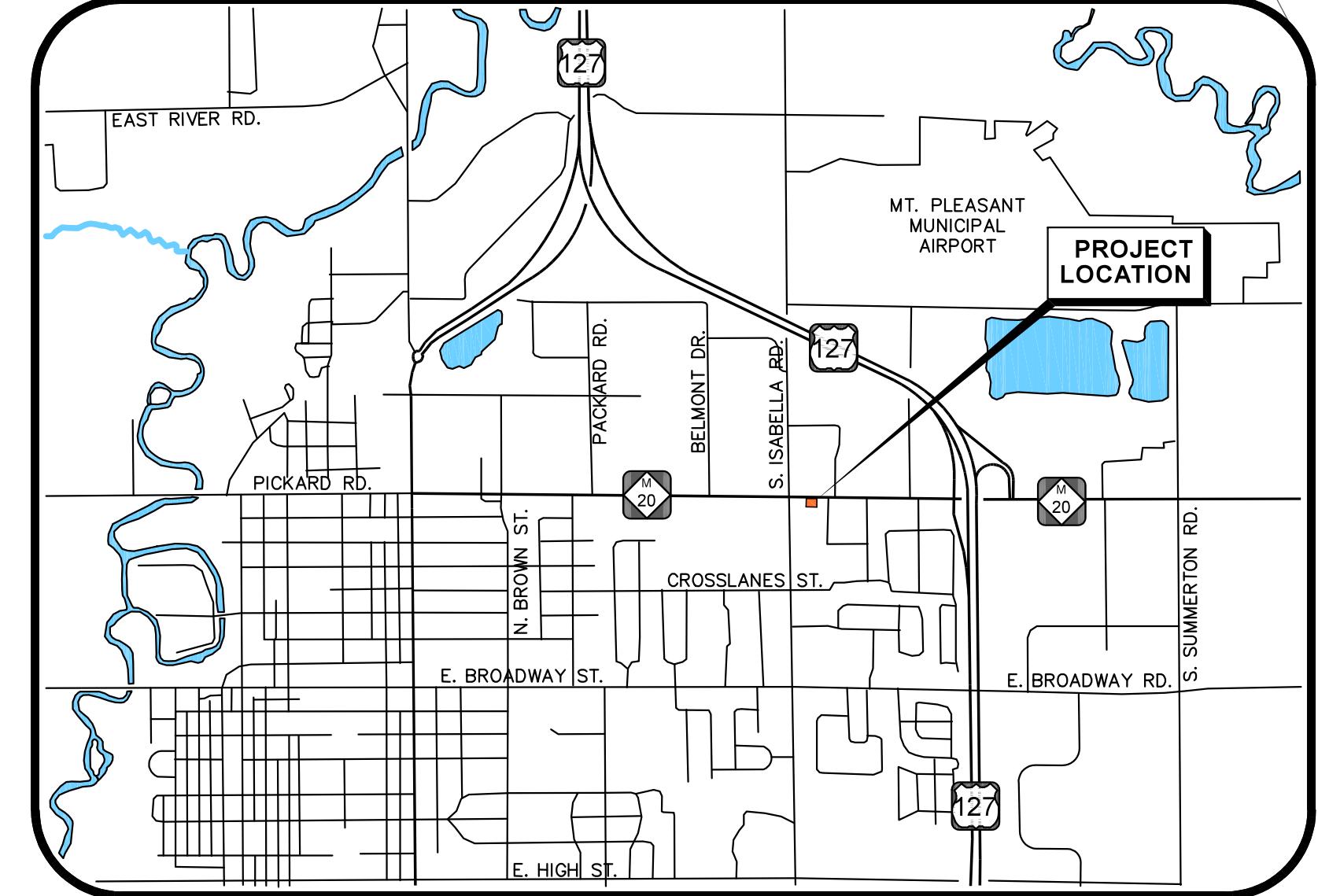
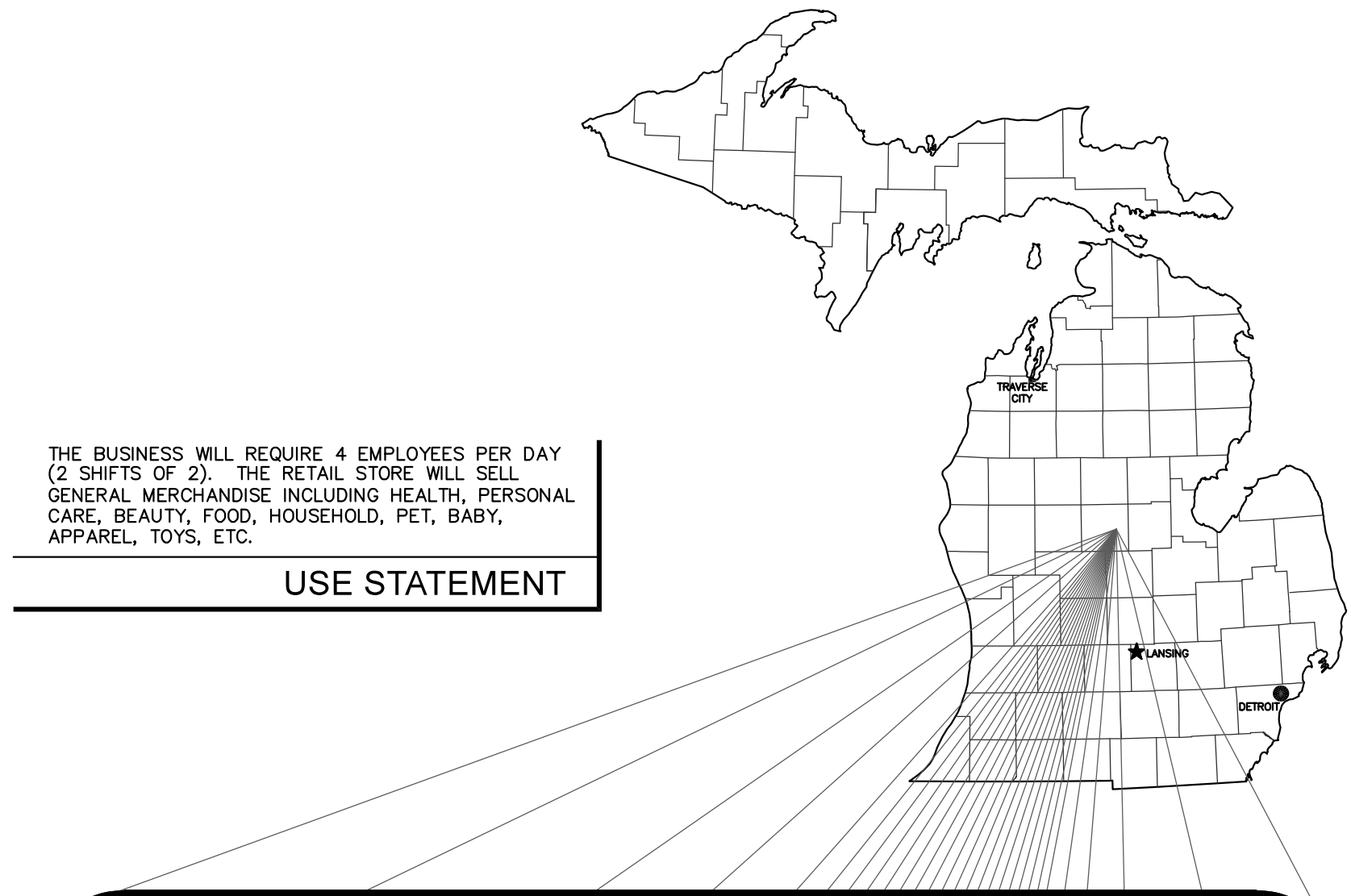
ALL SITE LIGHTING SHALL BE DARK SKY TYPE AND LIGHT RAYS CUT OFF AT THE PROPERTY LINES AND MEET ALL PRESCRIBED REQUIREMENTS OF THE ORDINANCE.

NOTES



OVERALL DEVELOPMENT MAP

RETAIL BUSINESS WILL NOT USE, STORE OR GENERATE HAZARDOUS SUBSTANCES OR POLLUTING MATERIALS
HAZARDOUS SUBSTANCES
UPON RECEIPT OF PERMITS, PROJECT WILL TAKE APPROXIMATELY 7 MONTHS TO COMPLETE.
PROJECT SCHEDULE
PROJECT WILL BE COMPLETED IN ONE PHASE
PROJECT PHASING
8AM TO 10PM, 7 DAYS A WEEK. SCHEDULE MAY BE ALTERED
HOURS OF OPERATION
AN ICE MERCHANDISER MAY BE POSITIONED NEAR THE ENTRANCE LOCATION SHOWN ON SHEET C1.2 IS APPROXIMATE
OUTDOOR SALES



PROJECT LOCATION MAP

PROPERTY DESCRIBED IN SCHEDULE 'A' OF TRANSNATION TITLE COMPANY TITLE COMMITMENT NO. 336300LKS.

ALL OF LOT 25, ALSO LOT 4 EXCEPT THE EAST 20 FEET THEREOF; AND THE EAST 59.77 FEET OF LOT 3 AND THE EAST 59.77 FEET OF LOT 16, ALL IN THE PLAT OF WARDS VIEW SUBDIVISION, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.

PROPERTY DESCRIBED IN SCHEDULE 'A' OF TRANSNATION TITLE COMPANY TITLE COMMITMENT NO. 343120LKS.

LOT 5 AND THE EAST 20 FEET OF LOT 4 OF WARD'S VIEW SUBDIVISION, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, ACCORDING TO THE RECORDED PLAT THEREOF.

TOTAL EXISTING PROPERTY AREA AS DESCRIBED ABOVE = 68,518 SF

APPLICANT / OWNER:
MIDWEST V, LLC
1435 FULTON ST., 2ND FLOOR
GRAND HAVEN, MI 49417
CONTACT: PETER OLESZCZUK
PHONE: (616) 842-2030

SITE INFORMATION:
5048 E. PICKARD ROAD
MT. PLEASANT, MI 48858

PARCEL IDS:
37-14-146-00-003-00 (5048 PICKARD)
37-14-146-00-005-00 (5082 PICKARD)

USE:
ZONING: B-7, RETAIL & SERVICE HWY BUSINESS
CURRENT USE: VACANT HOUSE/VACANT LAND
PROPOSED USE: RETAIL BUSINESS

SETBACKS REQUIRED:
FRONT: 15 FT
SIDE: 10 FT
REAR: 10 FT

EXISTING SURVEY INFORMATION

NOTE:
WALL SIGNAGE AND STREET SIGNAGE WILL BE UNDER A SEPARATE SIGN APPLICATION.

SIGNAGE

TOTAL BUILDING AREA = 10,640 SF
RETAIL SALES AREA = 8,600 SF (UFA)

PARKING RATIO=1 PER 250 SF USABLE FLOOR AREA

PARKING REQUIRED
8600/250=34.4 (35 SPACES REQUIRED)

SPACES PROVIDED = 35
(INCLUDES 2 A.D.A. ACCESSIBLE SPACES)

PARKING INFORMATION

SITE INFORMATION

PROPOSED PARCEL SIZE = 68,518 SF

PROPOSED BUILDING = 10,640 SF
BUILDING LOT COVERAGE = 16%

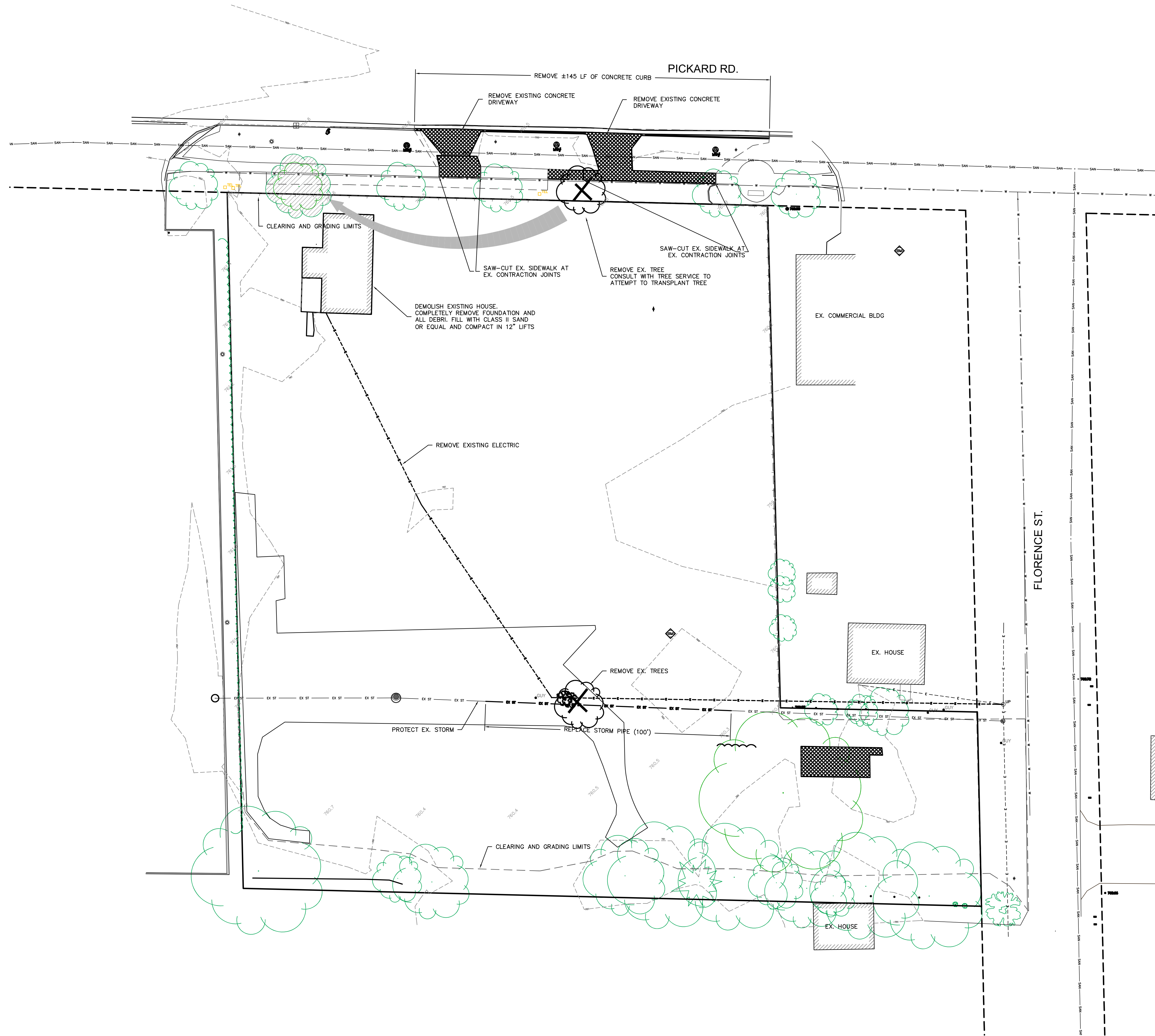
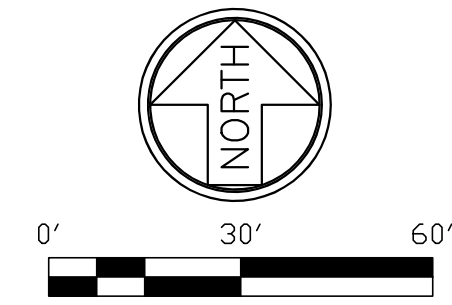
PROPOSED IMPERVIOUS = 35,569 SF
(BUILDING, ASPHALT AND CONCRETE)
IMPERVIOUS LOT COVERAGE = 52%

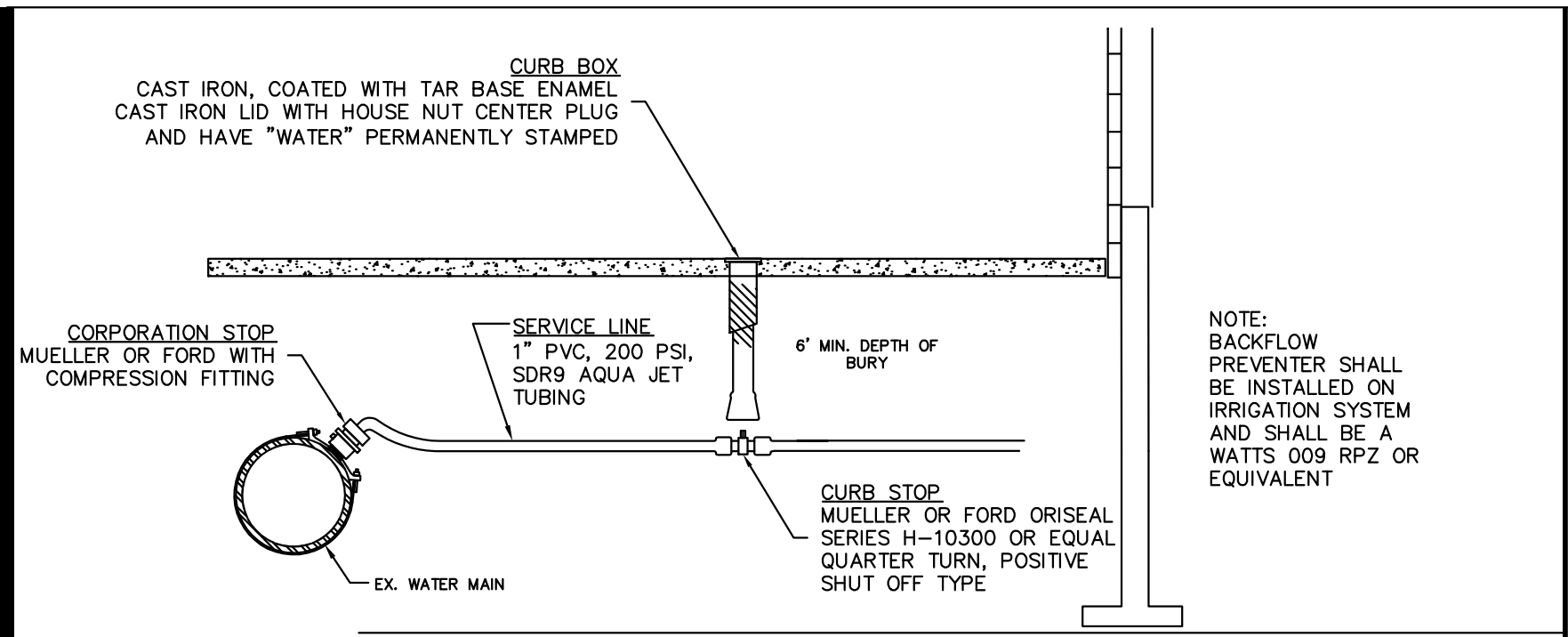
LOT COVERAGE

SHEET SHEET TITLE

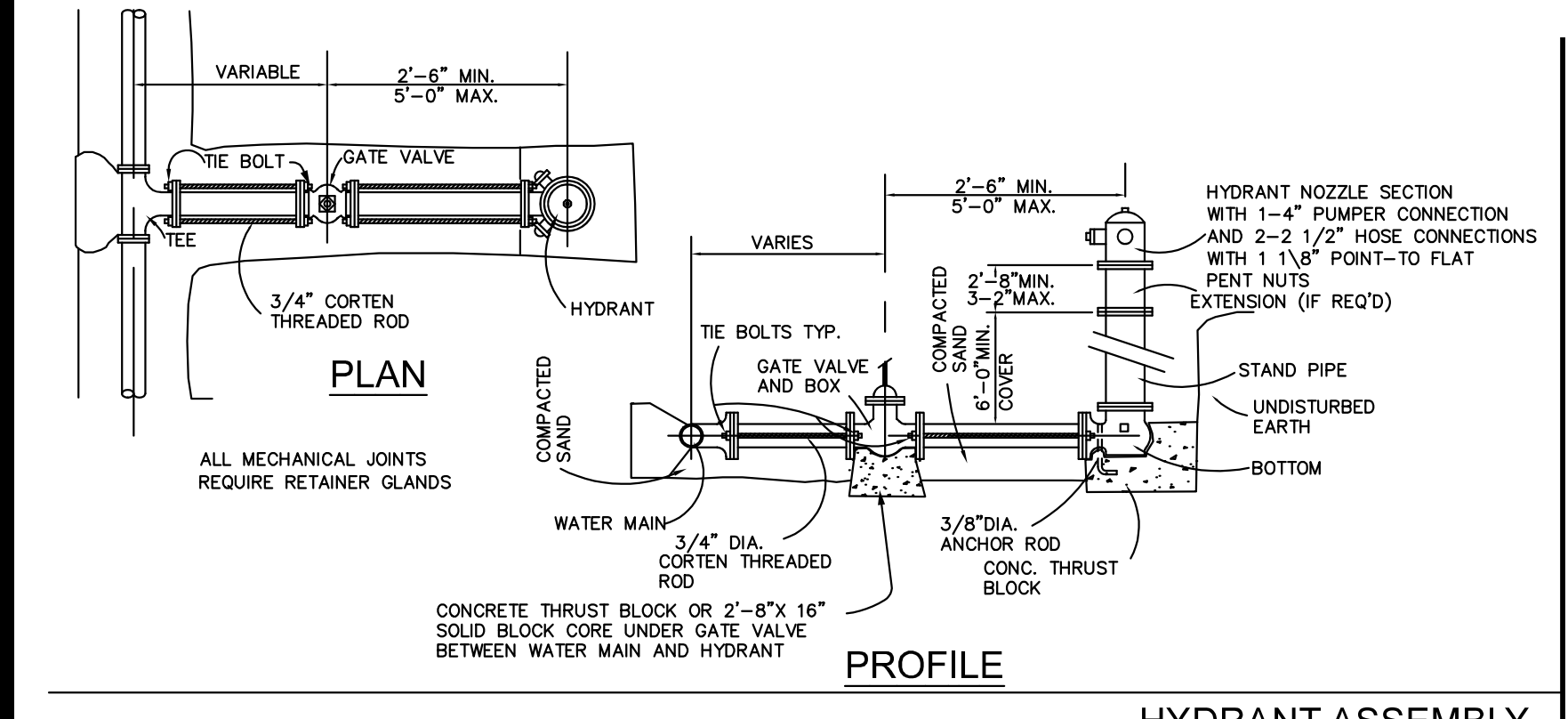
C1.0	GENERAL INFORMATION
C1.1	EXISTING CONDITIONS/DEMOLITION PLAN
C1.2	SITE AND UTILITY PLAN
C1.3	GRADING PLAN
C1.4	SESC PLAN
C5.1	DETAIL SHEET
L1.0	LANDSCAPE PLAN

SHEET INDEX





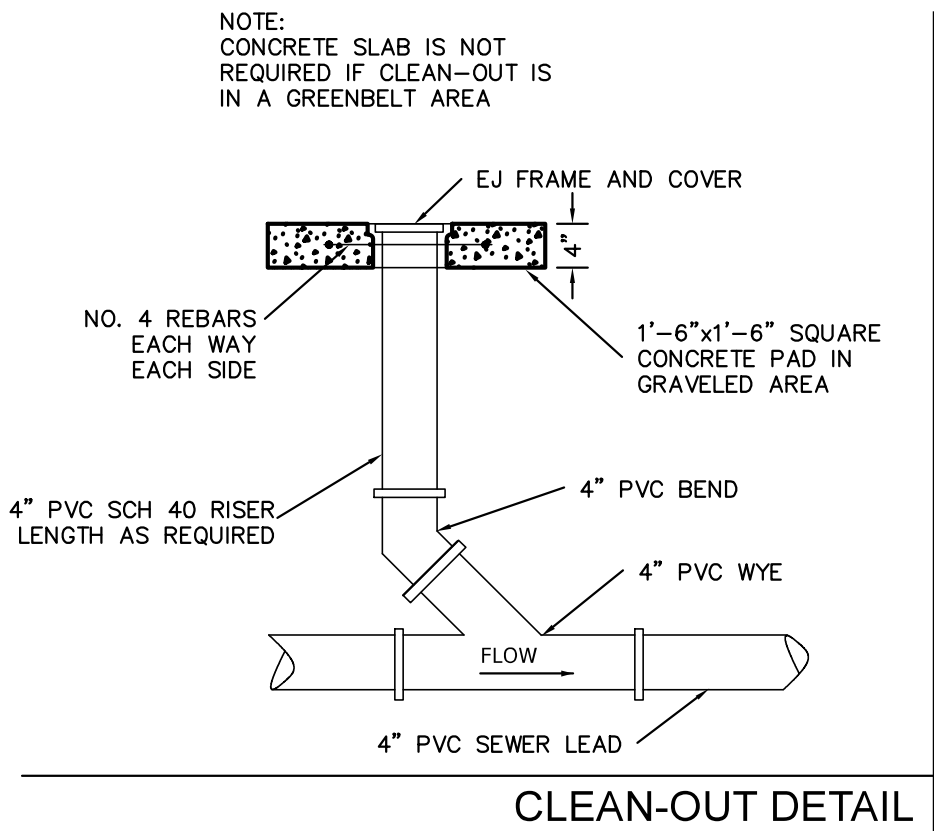
1" DOMESTIC SERVICE CONNECTION DETAIL



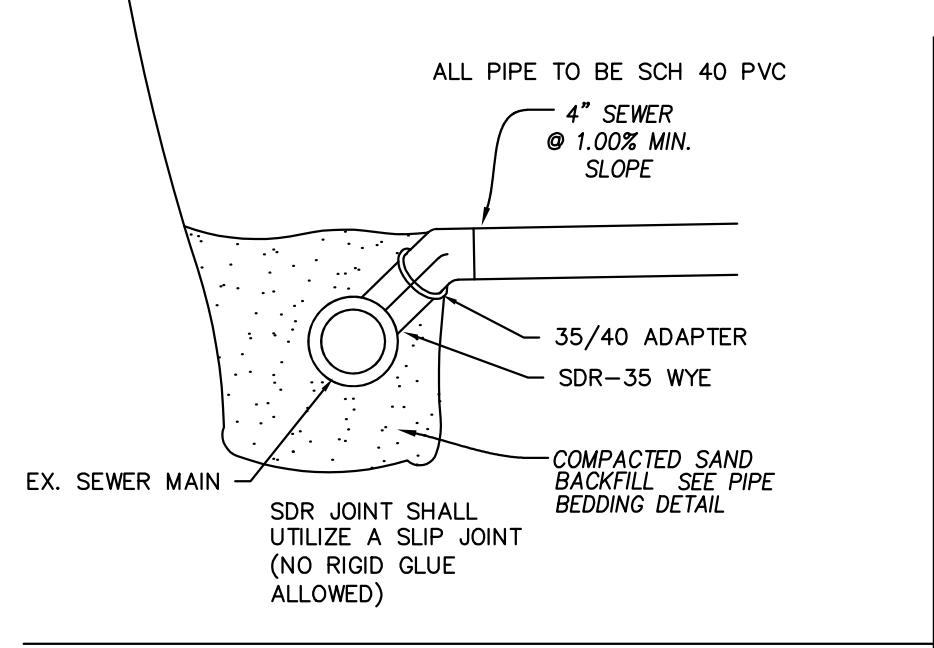
HYDRANT ASSEMBLY

1. Site
 - 1.1. Raised edge asphalt curb. See detail C5.3
 - 1.2. Install MDOT F-2 curb with regular plan. See detail C5.3
 - 1.3. Clear sight triangle. No plantings or visual obstructions over 24" in height.
 - 1.4. Construct 6" thick unreinforced concrete pad/apron. See detail sheet C5.1
 - 1.5. Construct 4" thick unreinforced concrete sidewalk. See detail sheet C5.1
 - 1.6. Provide and install 6" diameter steel bollards with plastic yellow covers per detail sheet C5.1.
 - 1.7. Concrete ramp to meet current ADA grading tandards.
 - 1.8. Construct pavement, curb and sidewalk in accordance with barrier free parking and sidewalk detail on sheet C5.1
 - 1.9. Provide and install barrier free signs. One sign shall have the van placard. See detail.
 - 1.10. Asphalt paving per detail sheet C5.1
 - 1.11. Heavy Duty Asphalt paving per detail sheet C5.1
 - 1.12. 3" wide striping at 45 degree angle, 3 feet on center. Blue for ADA and yellow for loading zone.
 - 1.13. Cross walk 3" wide white stripes. Surfaces should be clean and dry. Use Sherwin Williams Promar traffic marking paint.
 - 1.14. 2 ft wide white stop bar
 - 1.15. Directional arrows, yellow
 - 1.16. Stripe parking lot with 3" wide yellow stripes. Surfaces should be clean and dry. Use Sherwin Williams Promar traffic marking paint, yellow, TM5495.
 - 1.17. Stripe handicap parking spaces with 3" wide blue stripes. Surfaces should be clean and dry. Use Sherwin Williams Promar traffic marking paint, H.C. blue.
 - 1.18. Install 6" unreinforced concrete pad. See detail sheet C5.1.
 - 1.19. Proposed pylon sign location. Design and permitting by others.
 - 1.20. Construct dumpster enclosure with gate. See detail sheet C5.1.
 - 1.21. Maintain existing grade around trees not designated for removal. Protect during construction.
 - 1.22. 6' high vinyl privacy fence. See detail sheet C5.1.
 - 1.23. Ice merchandiser (5'x3')
2. Storm
 - 2.1. Stone eave drain. See detail sheet C5.1
 - 2.2. Install pipe end dissipator at pipe outlet. See detail sheet C5.1
 - 2.3. Construct infiltration basin. See sheet C1-3.
 - 2.4. Install 12" ADS N-12 storm sewer. See sheet C1-3.
3. Sanitary
 - 3.1. Install 4" pvc sch 40 sewer lateral from building to sanitary sewer. Minimum slope to be 1%.
 - 3.2. Install clean-out and bring flush with finish grade. See detail.
 - 3.3. Connect to existing sanitary sewer main. Coordinate with TWP DPW.
4. Water
 - 4.1. Live tap existing watermain. Coordinate with TWP DPW.
 - 4.2. Not used
 - 4.3. Install curb-stop and box. Coordinate with TWP DPW.
 - 4.4. Provide and install 1" HDPE water service from curb stop to building. Work completed by site work contractor.
 - 4.5. Provide and install hydrant assembly per detail.
5. Conduit
 - 5.1. Install 2" electric conduit to sign
 - 5.2. Install 1-3" sleeve under drive and/or sidewalk for irrigation.
 - 5.3. Not used
6. Other Utilities
 - 6.1. Gas meter location. Coordinate with architectural plans and utility provider.
 - 6.2. Electric meter and phone connection location. Coordinate with architectural plans and utility provider.
7. Site Lighting
 - 7.1. Lighting shall meet the Township Zoning Ordinance and shall not be mounted higher than 20' and shall be shielded to the surface so as not to shine onto any adjacent properties, public right of ways or sky.
 - 7.2. Pole light
 - 7.3. Bldg mounted light

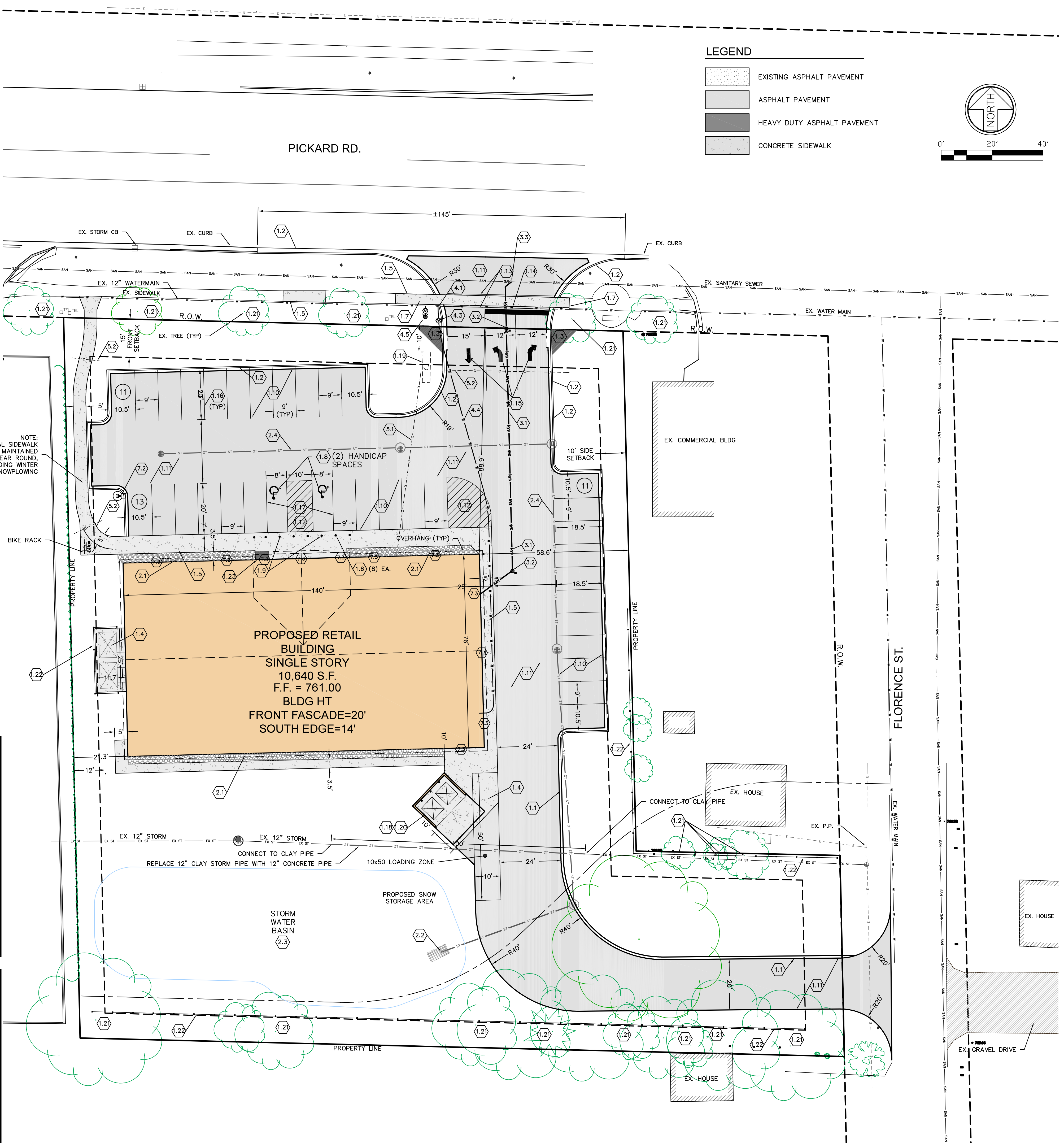
KEYED NOTES



CLEAN-OUT DETAIL

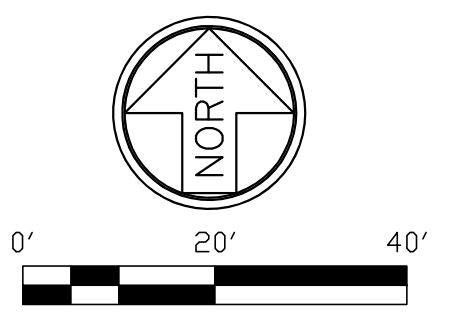


SANITARY SEWER SERVICE DETAIL



LEGEND

- EXISTING ASPHALT PAVEMENT
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE SIDEWALK



PLAN DATE: 5-21-2021
 5-21-2021
 7-29-2021
 8-3-2021
 SITE PLAN SUBMITTAL TO TOWNSHIP BOARD FOR REVIEW AND APPROVAL. REVISIONS BASED ON SITE PLAN REVIEW COMMENTS DATED 7-29-2021

PROJECT LOCATION:
 5048 & 5082 E. PICKARD ROAD
 MT. PLEASANT, MI 48858

PROJECT:
RETAIL BUSINESS
 MT. PLEASANT, MICHIGAN

CLIENT:
 MIDWEST V. LLC
 1435 FULTON ST., 2ND FLOOR
 GRAND HAVEN, MI 49417

PROJECT NO.:
2021-101

SITE UTILITY PLAN

C1.2

BASIS OF DESIGN
 INFILTRATION BASIN SIZED TO RETAIN THE 100-YEAR, 24 HOUR DEVELOPED STORM EVENT.
 INFILTRATION NOT ACCOUNTED FOR IN VOLUME CALCULATION AS A FACTOR OF SAFETY

BASIN 'A'

DEVELOPED AREAS

BUILDING*	10,640 SF (C=0.98)
PAVEMENT	21,449 SF (C=0.95)
CONCRETE	3,779 SF (C=0.95)
OPEN	25,473 SF (C=0.20)
TOTAL	61,341 SF (Cw=0.64)

1.41 AC

100-YR, 24-HR STORM RAINFALL DEPTH = 5.62"
 100-YR VOLUME = CIA = 0.64 * 5.62 / 12 * 1.41 * 43,560 S.F./AC = 18,409 C.F.

VOLUME PROVIDED = 19,066 CF

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
755.00	2,970	0	0
756.00	3,811	3,391	3,391
757.00	4,710	4,261	7,651
758.00	5,690	5,200	12,851
759.00	6,740	6,215	19,066

RECOVERY (INFILTRATION)

INFILTRATION RATE FOR SANDY SOIL = 6 IN/HR x 50% SAFETY FACTOR = 3 IN/HR
 BASIN BOTTOM AREA (MEASURED HALF FULL) = 4,416 S.F.
 BASIN INFILTRATION RATE = 3 IN/HR / 12 * 4,416 = 1,104 C.F./HR
 TIME TO DRAIN (RECOVER) = 16,924 C.F. / 1,104 C.F./HR = 15.3 HOURS

NOTE: AS STATED, INFILTRATION WAS NOT ACCOUNTED FOR IN THE VOLUME CALCULATIONS. SOILS ARE PREDOMINANTLY SAND. ALTHOUGH INFILTRATION IS HIGH, USE OF INFILTRATION WAS NOT INCLUDED IN THE CALCULATIONS WHICH PROVIDES A HIGHER DEGREE OF SAFETY.

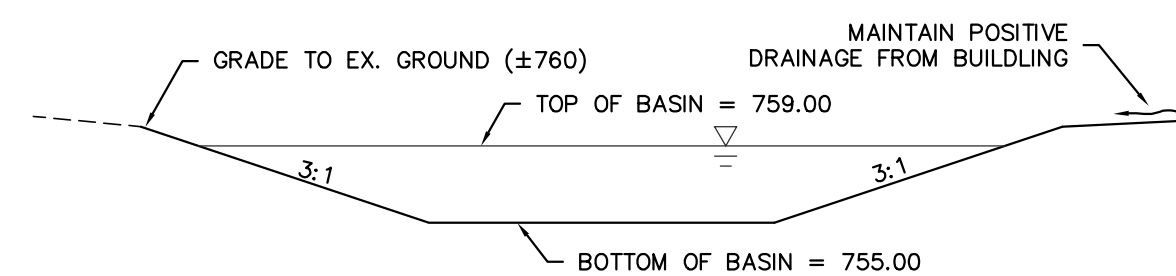
*BUILDING VOLUME INITIALLY PROVIDED IN STONE TRENCHES (SEE BELOW). VOLUME ALSO INCLUDED IN INFILTRATION BASIN AS CONTINGENCY FOR INFILTRATOR TRENCH FAILURE.

EAVE STONE INFILTRATION TRENCH

BUILDING ROOF (FRONT) = 5,320 S.F. x 0.98 x 5.62 / 12 = 2,442 C.F.
 STONE TRENCH VOLUME = 104 LF x 3.5 FT x 2FT x 50% VOID RATIO = 364 C.F.
 STONE TRENCH INFILTRATION = 6" / HR * 0.5 SAFETY FACTOR = 3 IN/HR
 STONE TRENCH BOTTOM AREA = 104 LF x 3.5 FT = 364 S.F.
 VOLUME INFILTRATED (24HR) = 3 IN/HR / 12 x 364 S.F. x 24HRS = 2,184 C.F.
 TOTAL VOLUME PROVIDED = 2,184 C.F. + 364 C.F. = 2,548

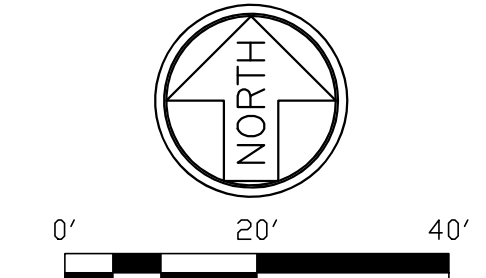
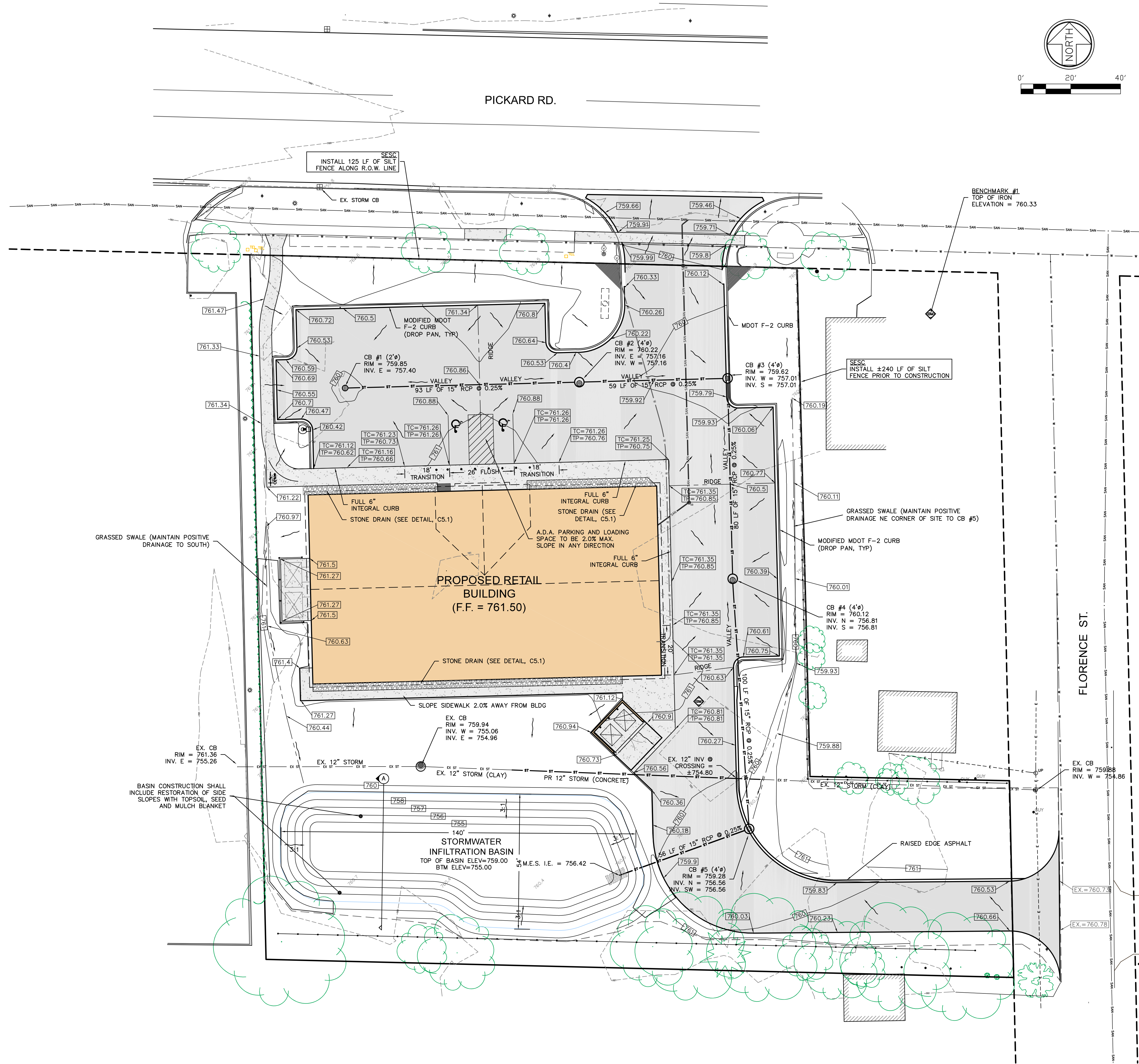
BUILDING ROOF (REAR) = 5,320 S.F. x 0.98 x 5.62 / 12 = 2,442 C.F.
 STONE TRENCH VOLUME = 124 LF x 3.5 FT x 2FT x 50% VOID RATIO = 434 C.F.
 STONE TRENCH INFILTRATION = 6" / HR * 0.5 SAFETY FACTOR = 3 IN/HR
 STONE TRENCH BOTTOM AREA = 124 LF x 3.5 FT = 434 S.F.
 VOLUME INFILTRATED (24HR) = 3 IN/HR / 12 x 434 S.F. x 24HRS = 2,604 C.F.
 TOTAL VOLUME PROVIDED = 2,604 C.F. + 434 C.F. = 3,038 C.F.

STORMWATER MANAGEMENT ANALYSIS



CROSS-SECTION A: INFILTRATION BASIN
 SCALE: 1" = 10'

NOTE:
 ALL GRADES ALONG CURBS ARE TOP OF PAVEMENT (BOTTOM OF CURB FACE). SURVEYOR AND CONTRACTOR TO PROVIDE NECESSARY CALCULATIONS TO ESTABLISH TOP-BACK OF CURB AND SIDEWALK ELEVATIONS.



PLAN DATE: 5-21-2021
 SITE PLAN SUBMITTAL TO TOWNSHIP OF PLEASANT, MICHIGAN
 DRAINAGE PERMITS REVIEW COMMENTS: 7-7-2021
 REVISIONS BASED ON SITE PLAN REVIEW: 8-3-2021
 COMMENTS DATED 7-29-2021

PROJECT NO: 2021-101

PROJECT: RETAIL BUSINESS, MICHIGAN
 CLIENT: MT. PLEASANT, MICHIGAN
 CLIENT: MIDWEST V. LLC
 1435 FULTON ST., 2ND FLOOR
 GRAND HAVEN, MI 49417

PROJECT NO: 2021-101

GRADING PLAN

LOCATION: 5048 & 5082 E. PICKARD ROAD
 MT. PLEASANT, MI 48858

CLIENT: MIDWEST V. LLC
 1435 FULTON ST., 2ND FLOOR
 GRAND HAVEN, MI 49417



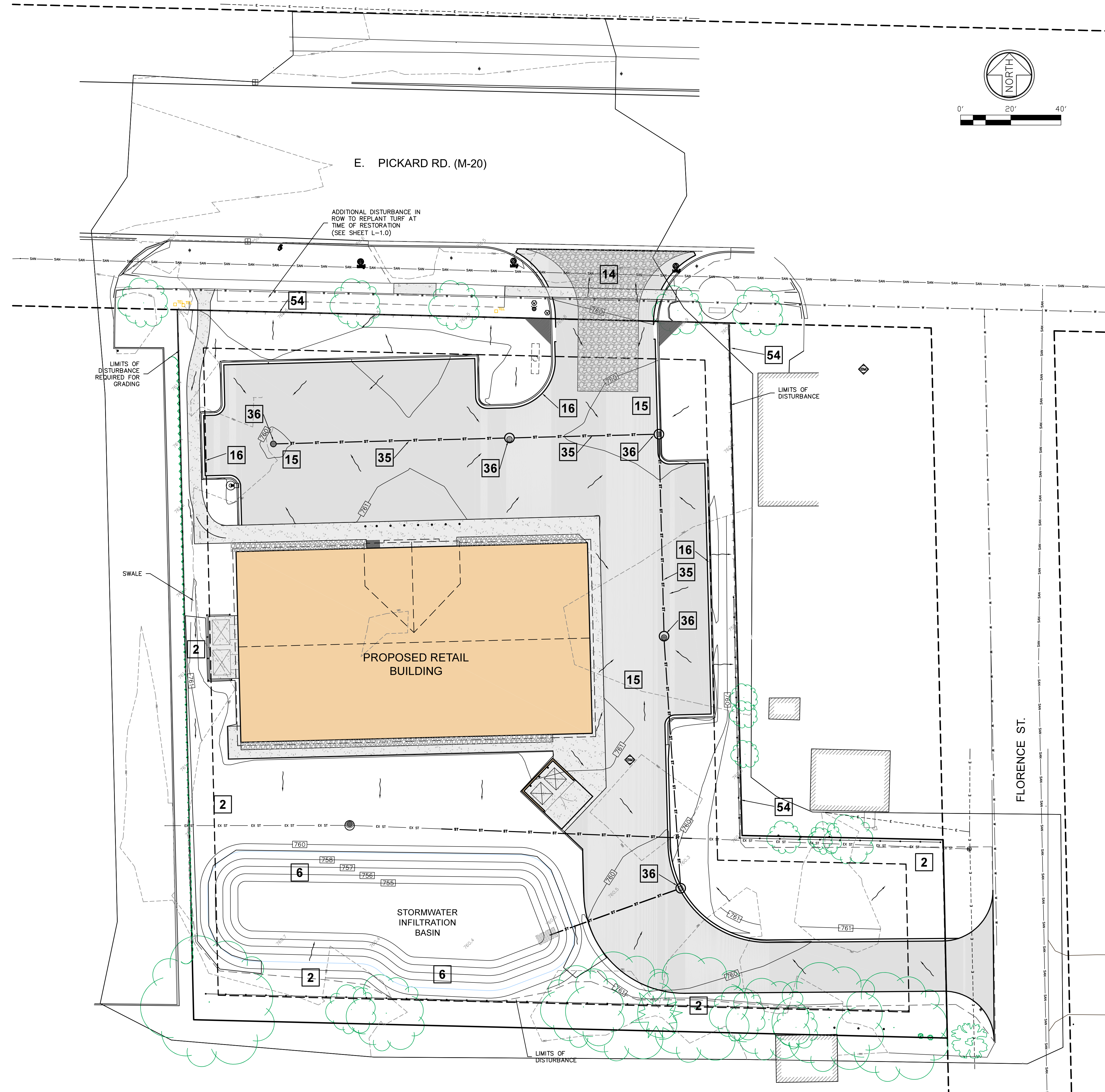
APPLIED AT % SITEWORK COMPLETE	KEY	DETAIL	CHARACTERISTICS
20%	2	Selective Grading & Shaping	Water can be diverted to minimize erosion Flatter slopes ease erosion problems
10-50%	6	Seeding with Mulch Blanket and/or Matting	Facilitates establishment of vegetative cover Effective for drainageways with low velocity Easily placed in small quantities by inexperienced personnel Should include prepared topsoil bed
20%	14	Anti-Tracking Pad	Stabilizes surface, thus minimizing erosion Permits construction traffic in adverse weather May be used as part of permanent base construction of paved areas
80-100%	15	Paving	Protects areas which cannot otherwise be protected, but increases runoff volume and velocity Irregular surface will help slow velocity
90-100%	16	Curb & Gutter	Keeps high velocity runoff on paved areas from leaving paved surface Collects and conducts runoff to enclosed drainage system or prepared drainageway
90-100%	35	Storm Sewer	System removes collected runoff from site, particularly from paved areas Can accept large concentrations of runoff Conducts runoff to municipal sewer system or stabilized outfall location Use catch basins to collect sediment
40-100%	36	Catch Basin, Drain Inlet	Collects high velocity concentrated runoff Use filter cloth over inlet
0-100%	38	Silt Fence Straw Bale Filter	Filters and detains runoff Inexpensive and easy to construct Can be located as necessary to collect sediment May be used in conjunction with silt fence for added stability
1%	54	Silt Fence	Filters and detains runoff

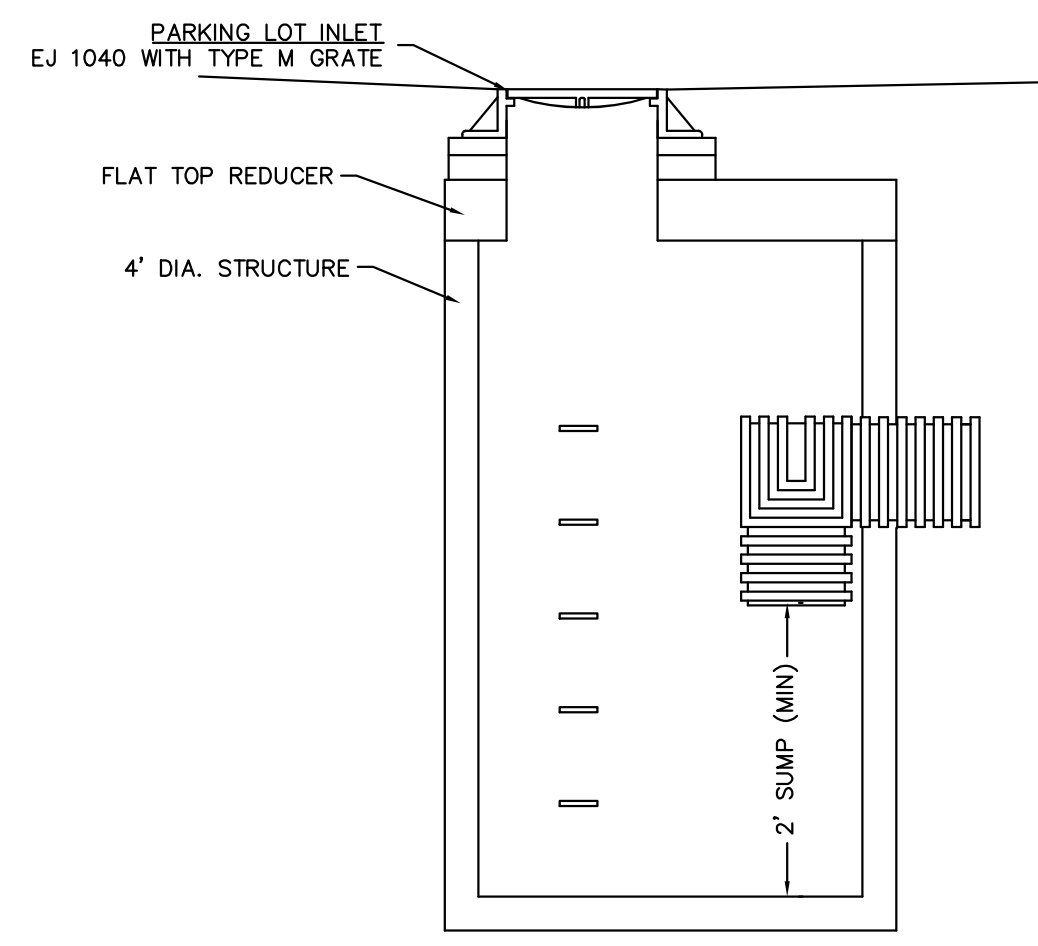
DISTURBANCE LIMITS = 68,478 SF (1.57 ACRES)

SOILS: SOILS ARE PREDOMINANTLY SAND AND ARE SUITABLE FOR SUBGRADE. IT IS INTENDED THAT THE SITE WILL BALANCE AND THAT THE ONLY EXPORT OF MATERIALS WILL BE EXCESS TOPSOIL

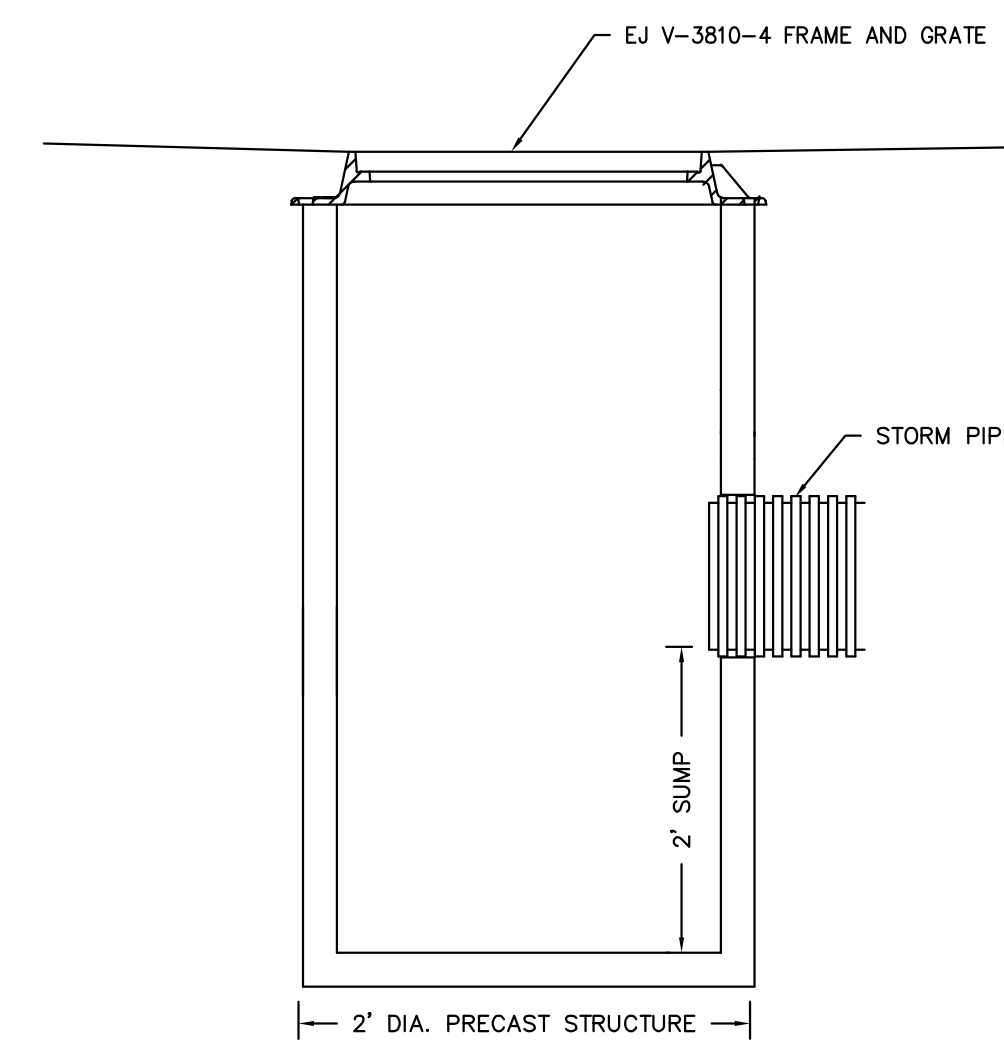
NEAREST WATERBODY: GREWES LAKE IS LOCATED 2800 FEET TO THE NORTHEAST OF THE PROJECT. AN UNNAMED POND IS LOCATED 1500 FEET NORTH OF THE PROJECT.

SOIL EROSION CONTROL INFORMATION

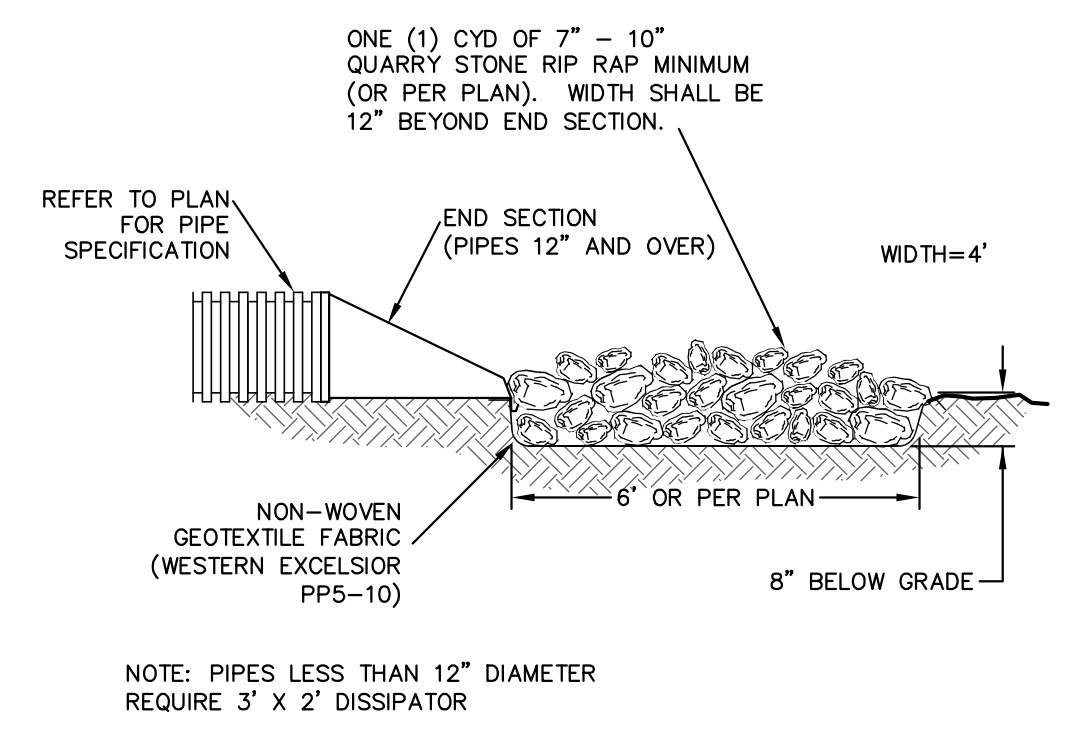




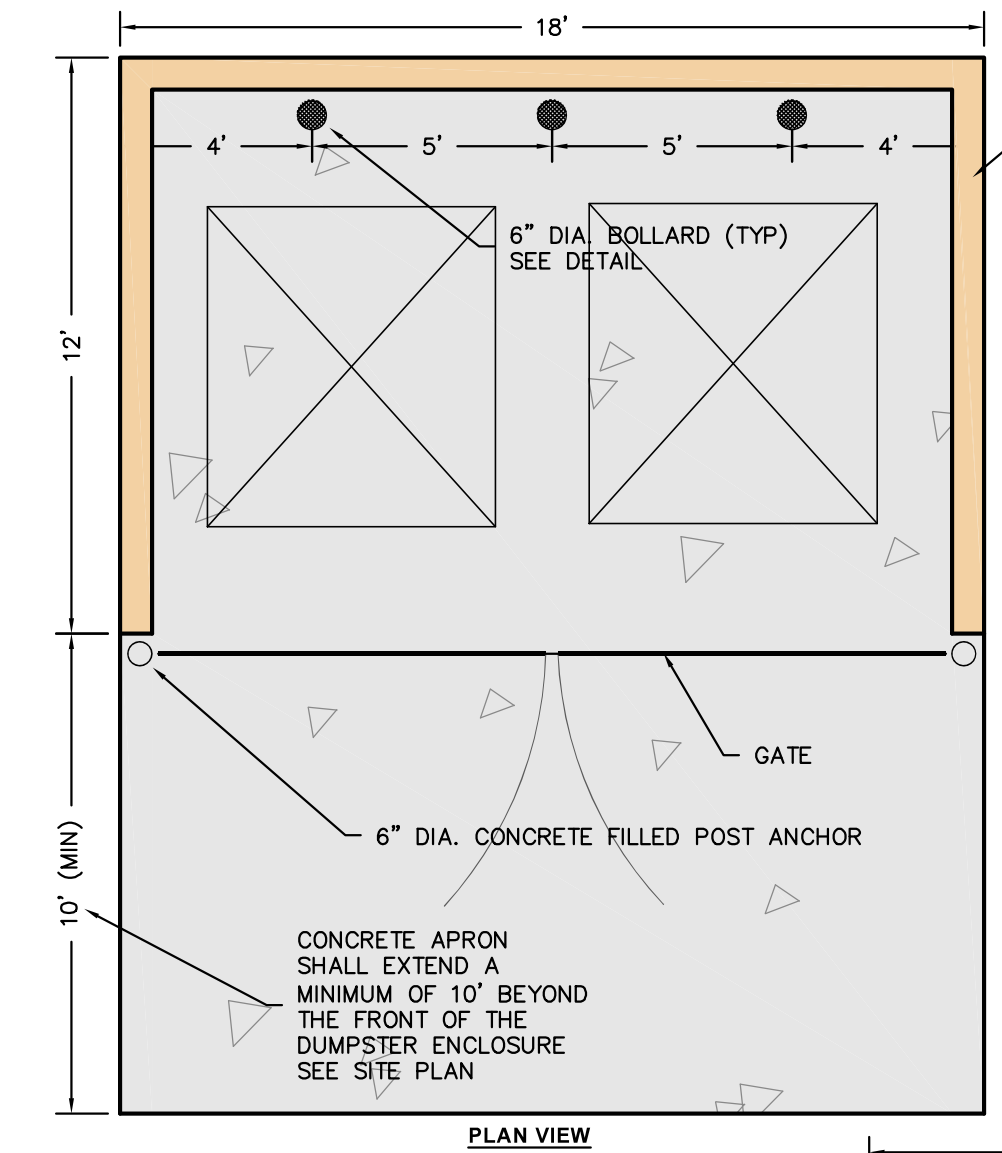
4' DIA. CATCH BASIN DETAIL



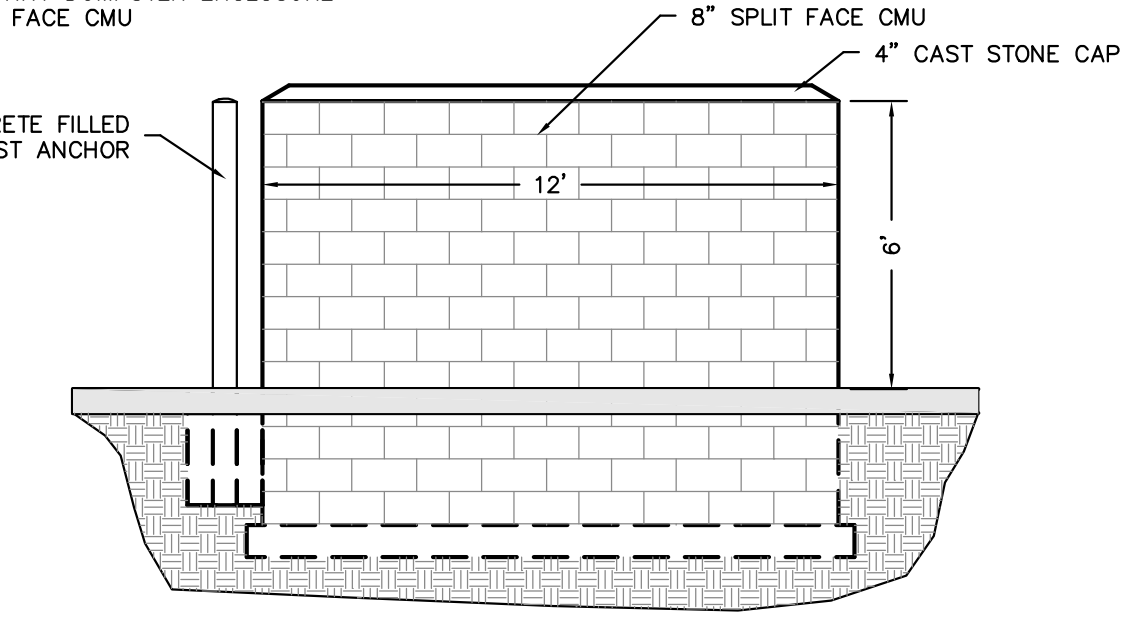
2' DIA. CATCH BASIN DETAIL



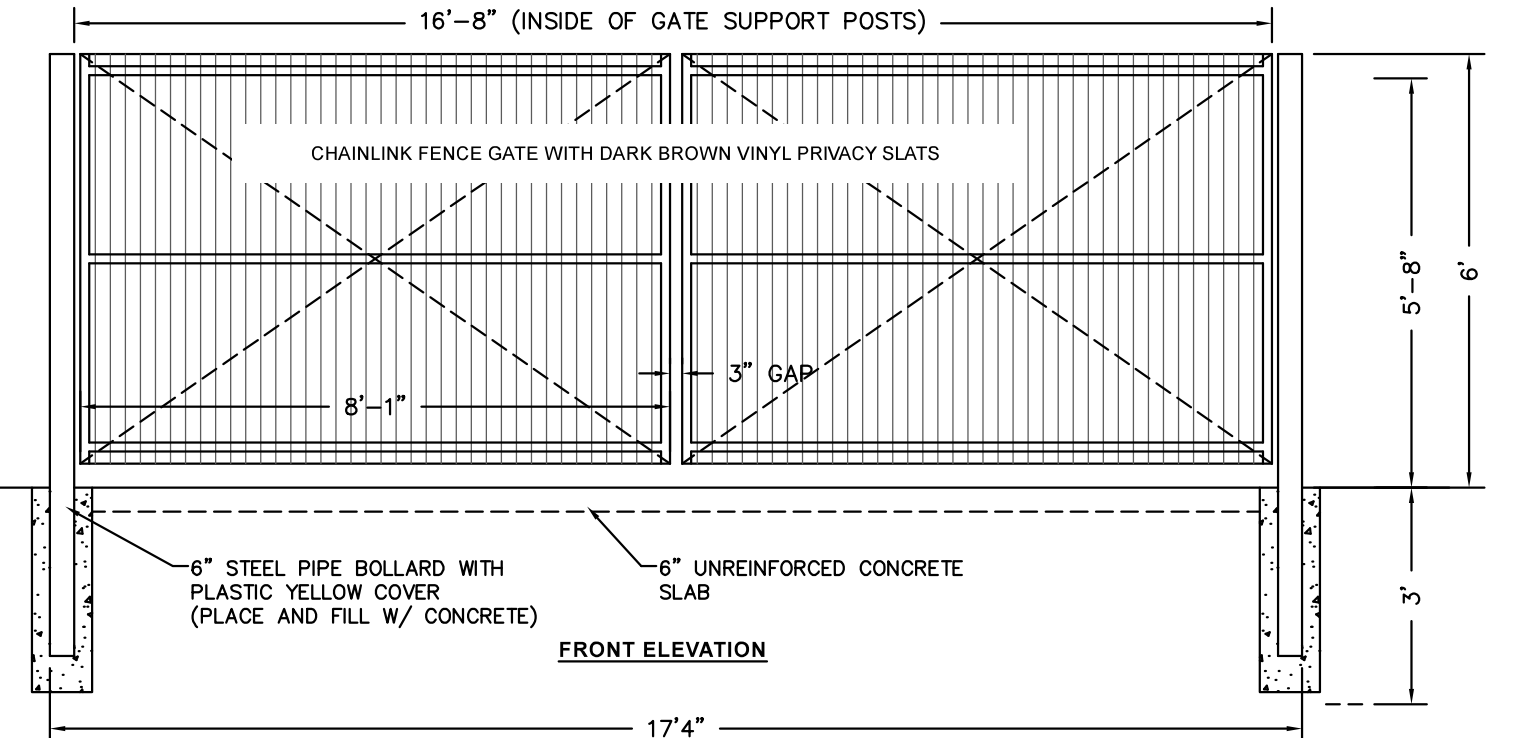
STORM OUTLET



PLAN VIEW

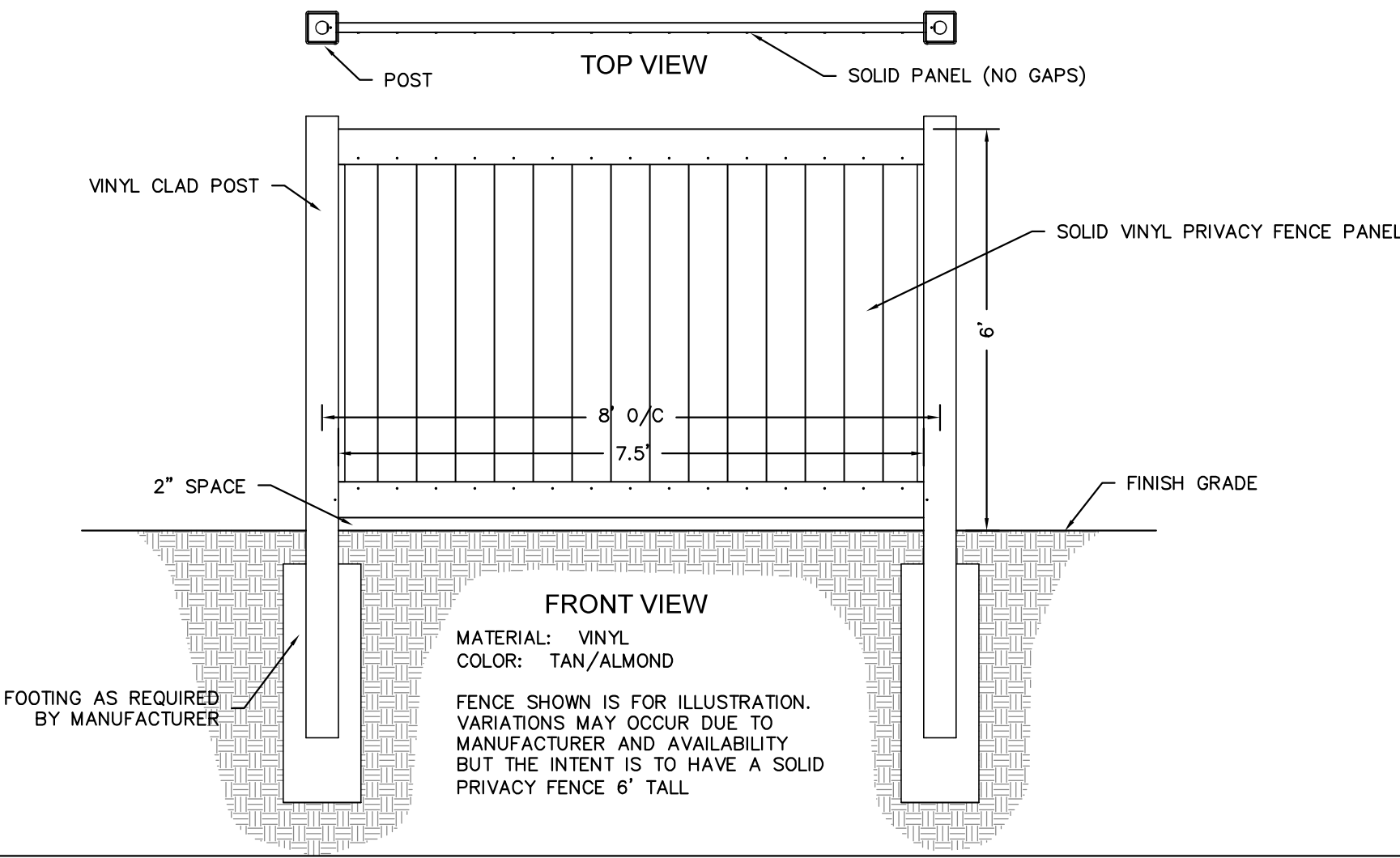


SIDE ELEVATION
NOTE: REAR ELEVATION IS SAME AS SIDE ELEVATION EXCEPT THAT IT IS 18' WIDE

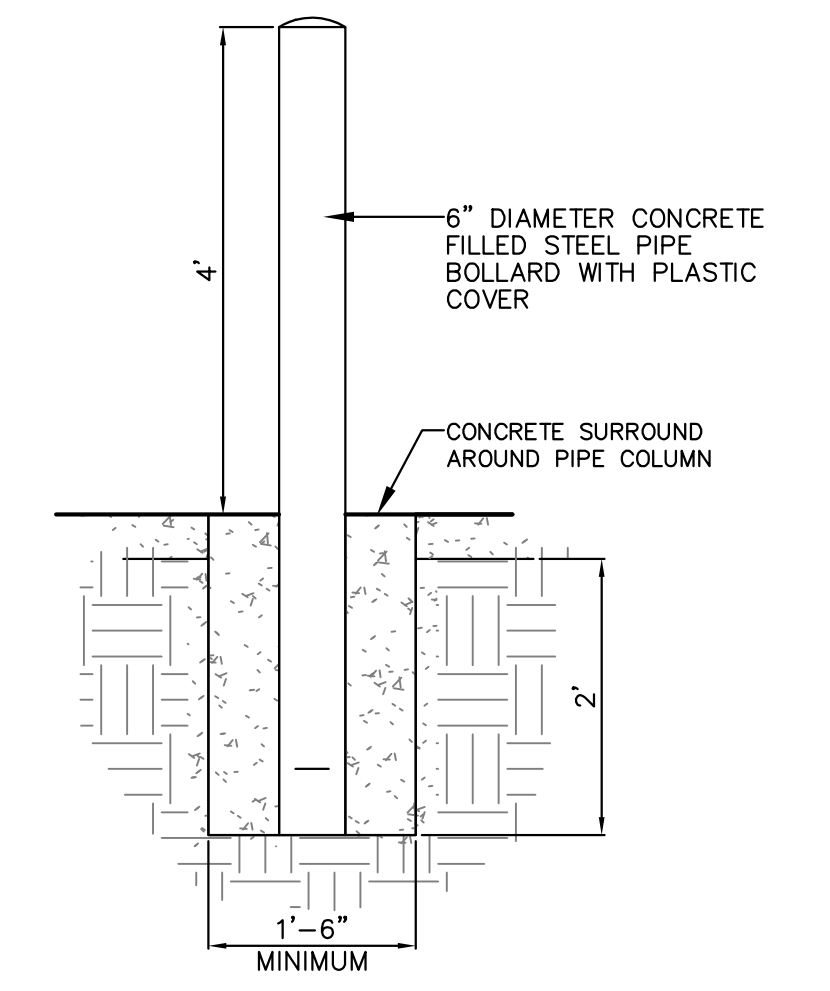


FRONT ELEVATION

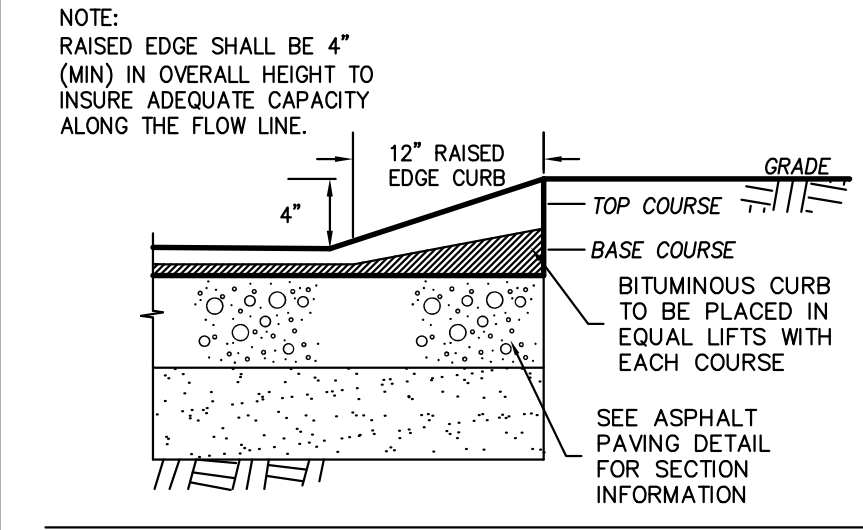
DUMPSTER ENCLOSURE DETAIL



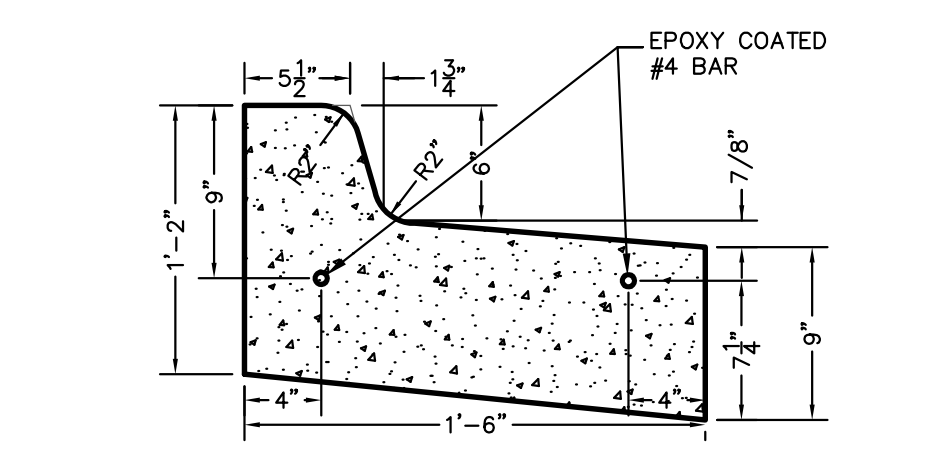
FENCE DETAIL



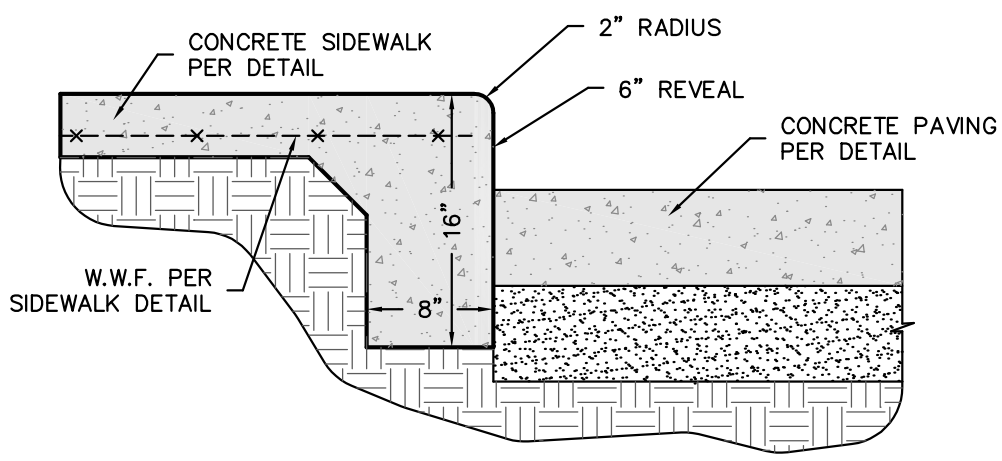
PIPE BOLLARD DETAIL



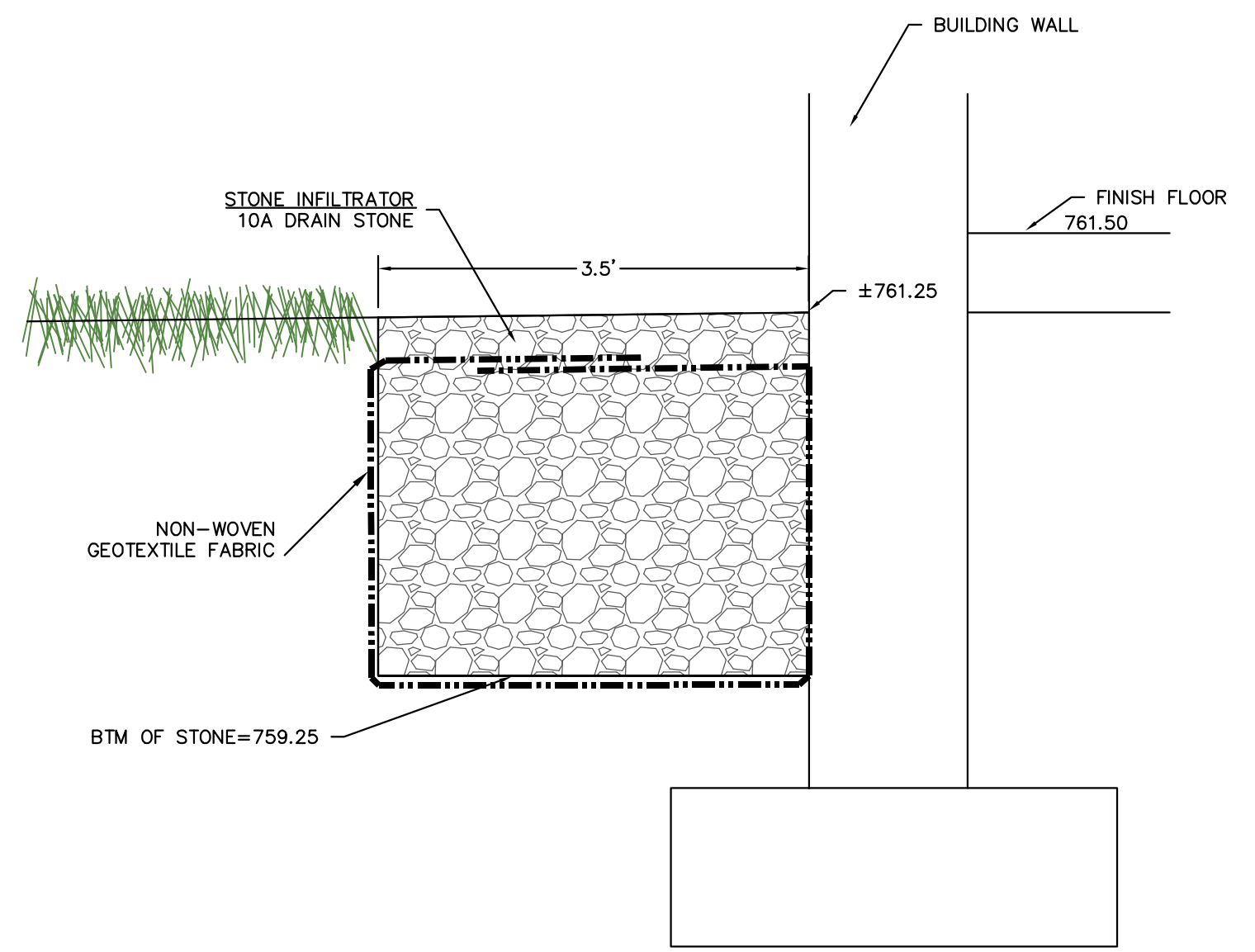
RAISED EDGE DETAIL



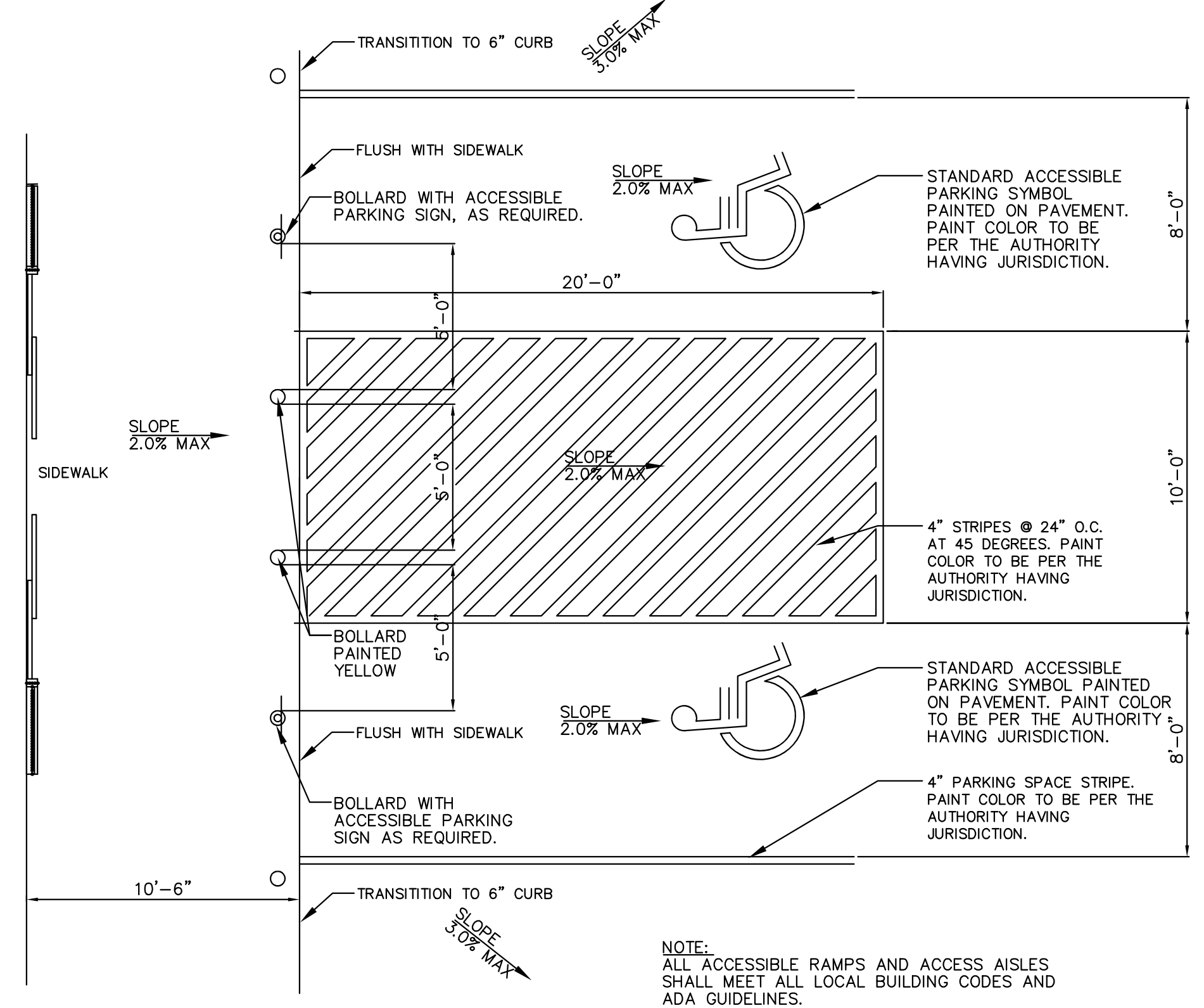
MODIFIED F-2 CURB DETAIL



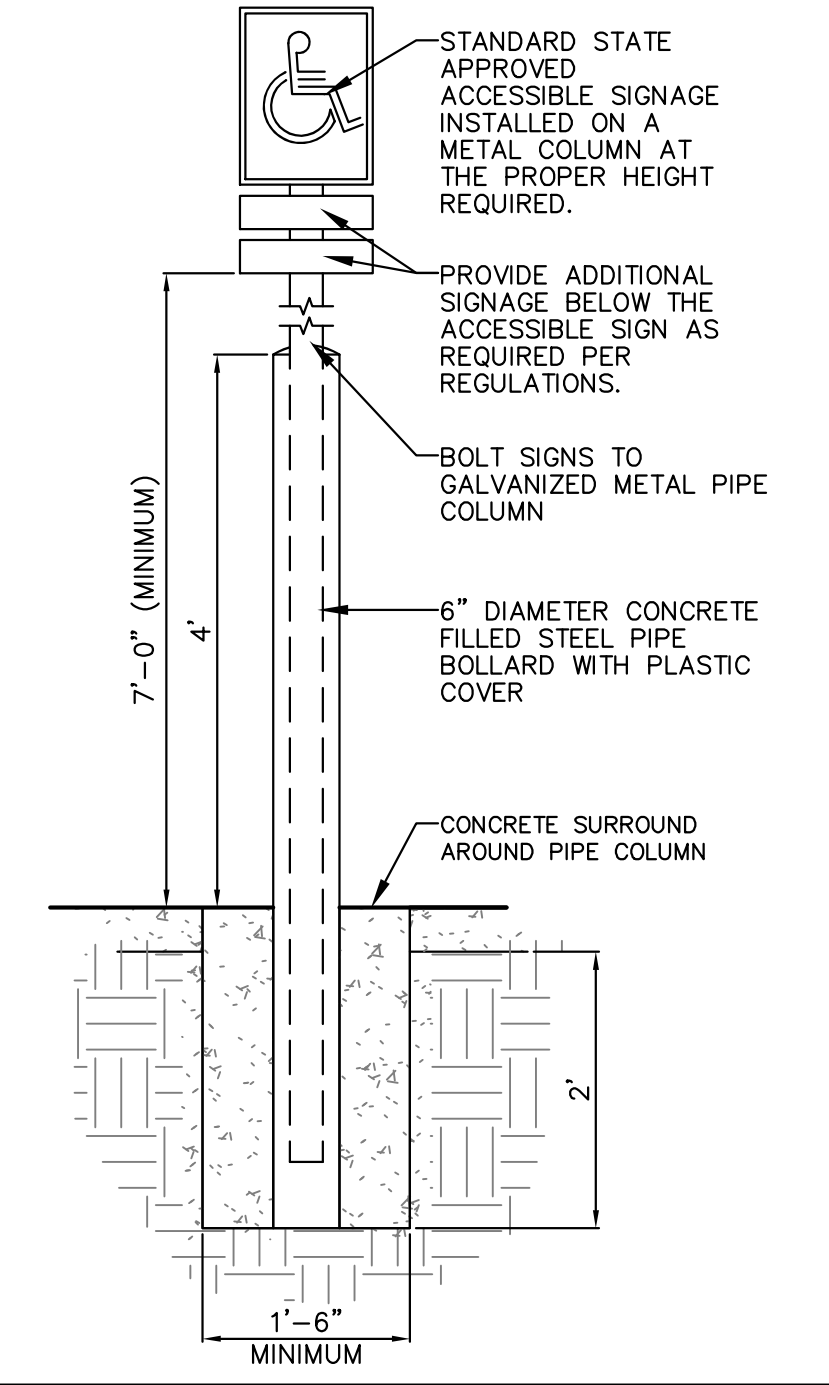
INTEGRAL CURB/SIDEWALK DETAIL



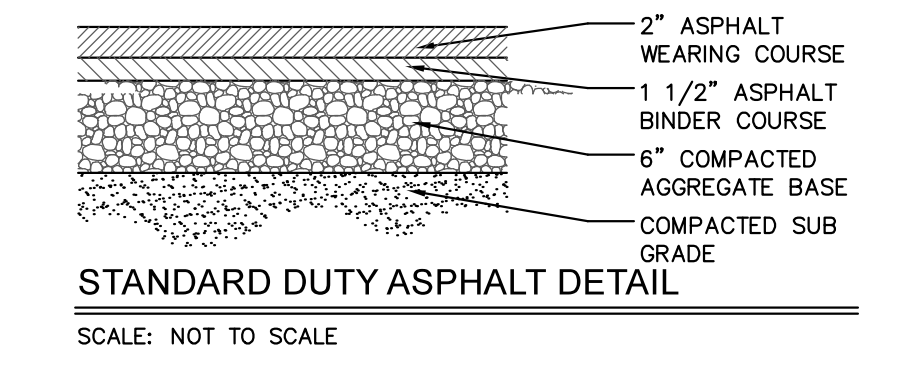
DOWNSPOUT CONNECTION DETAIL



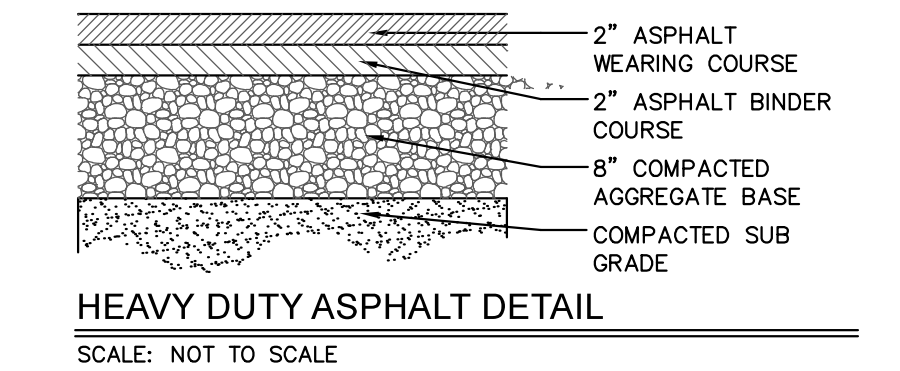
A.D.A. PARKING DETAIL



B/F SIGN DETAIL

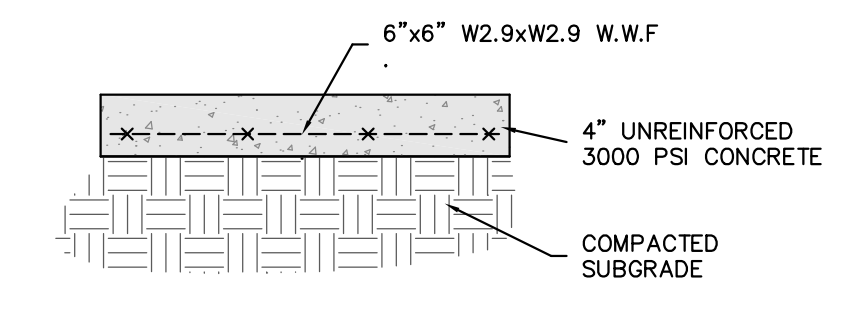


STANDARD DUTY ASPHALT DETAIL
SCALE: NOT TO SCALE

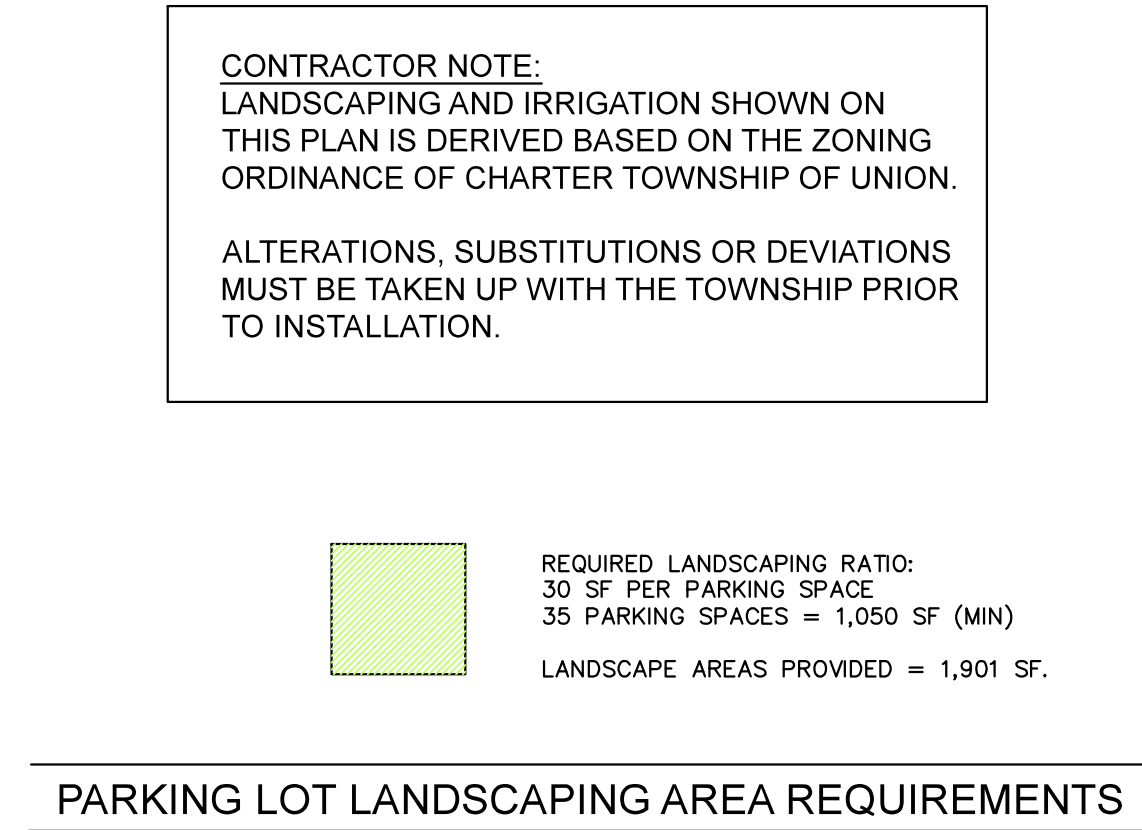
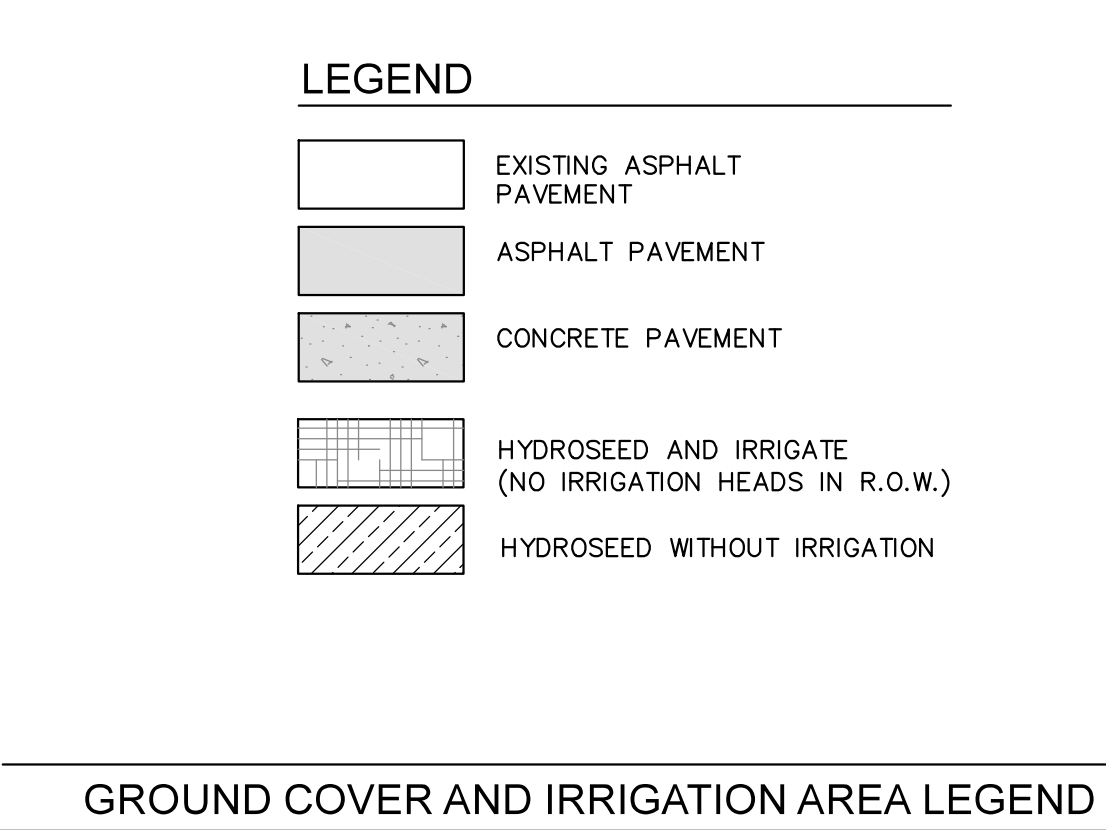
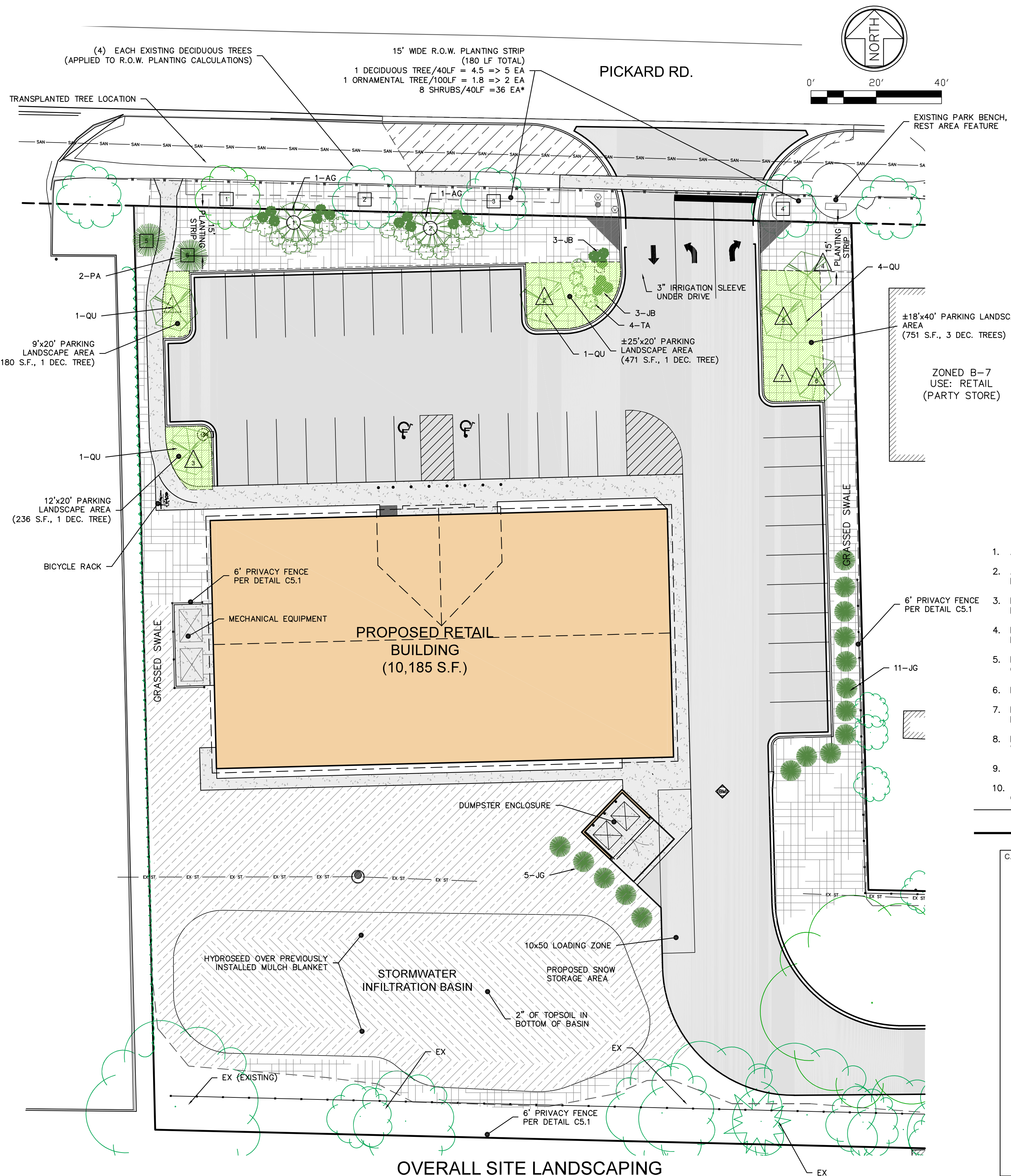


HEAVY DUTY ASPHALT DETAIL
SCALE: NOT TO SCALE

ASPHALT PAVEMENT DETAIL



CONCRETE SIDEWALK DETAIL



REQUIRED PLANTING CALCULATIONS

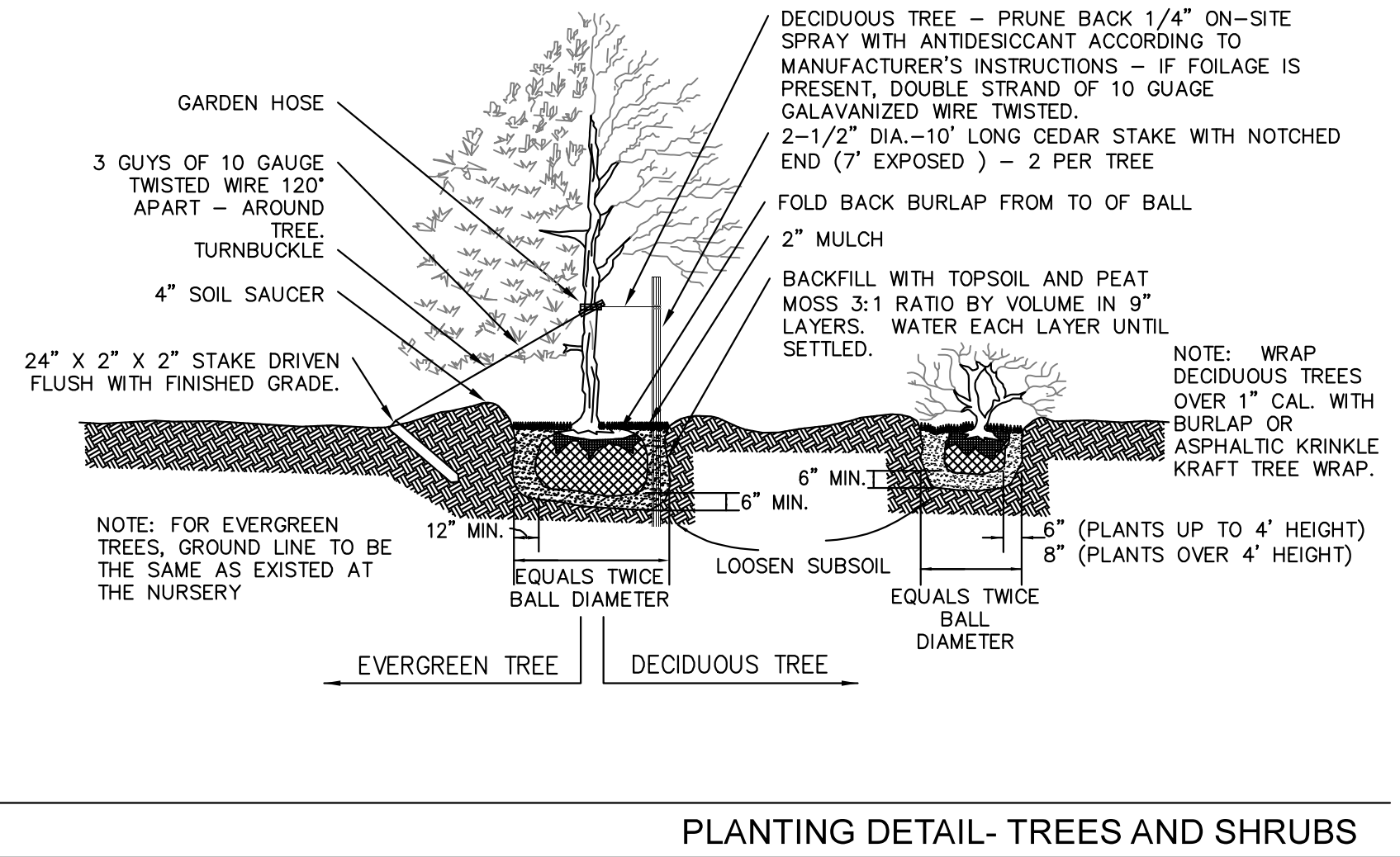
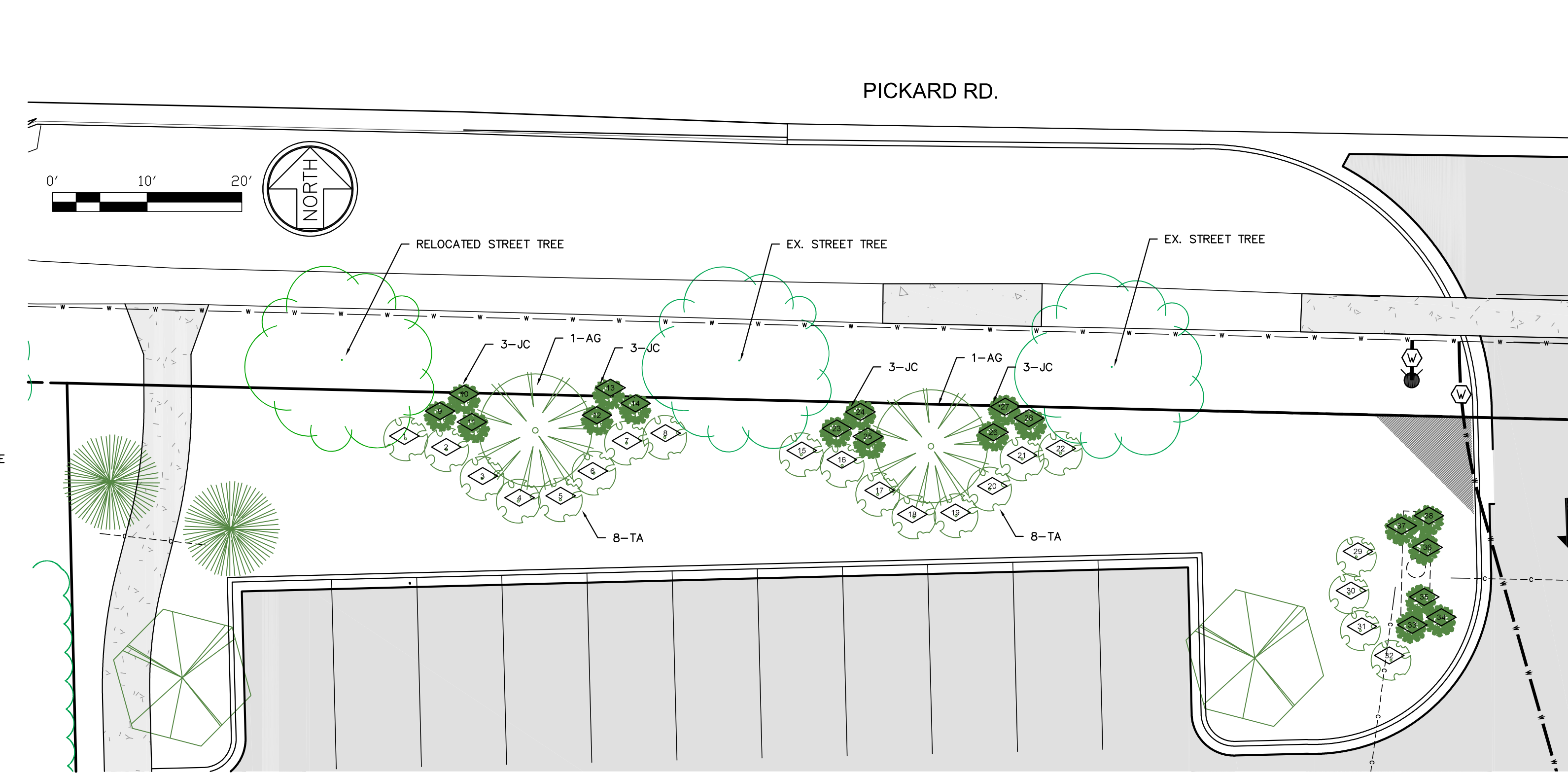
Item	Based on.....	Value	Deciduous or Evergreen	Ornamental Trees	Shrubs	Shade Tree
Front	Frontage width less Entrance width	181 ft	1 per 40 ft	5	1 per 100 ft	2
Parking Lot	Number of spaces	35 spaces	0	0	0	1 per 5 spaces
Totals			5	2	37	7

- NOTES: INSTALLATION AND MAINTENANCE**
- ALL LANDSCAPE MATERIALS SHALL BE HEALTHY AT THE TIME OF INSTALLATION.
 - ALL LAWN AREAS SHALL BE SEEDED WITHIN 90 DAYS AFTER OCCUPANCY. TREES AND SHRUBS SHALL BE MULCHED AT TIME OF PLANTING.
 - MAINTAIN AND ESTABLISH LAWN BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH LAWN.
 - LAWN MAINTENANCE SHALL COMMENCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE LAWN IS ESTABLISHED, OR 60 DAYS AFTER SUBSTANTIAL COMPLETION, WHICHEVER IS LESS.
 - PROTECT ADJACENT AND ADJOINING STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND PLANTINGS FROM HYDROSEEDING OVER-SPRAY AND DAMAGE CAUSED BY PLANTING OPERATIONS.
 - REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND STICK, ROOTS, RUBBISH, AND OTHER EXTRANEIOUS MATTER FROM SITE.
 - MAINTAIN LAWN UNTIL A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES.
 - LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL GRADING CONDITION OF TOPSOIL TOUCH-UP AND RAKE CLEAN WHERE NECESSARY. ROTTED, DETERIORATED, OR DAMAGED LANDSCAP ELEMENTS SHALL BE REPAIRED, REPLACED OR REMOVED.
 - ALL PLANTING SHALL CONFORM TO ANSI 260.1 OR CURRENT EDITION.
 - ALL LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY ENVIRONMENT. THE OWNER SHALL MAINTAIN THE LANDSCAPING USING OWN STAFF OR CONTRACT WITH AN OUTSIDE LANDSCAPING SERVICE.

- C. Plant Material Specifications.**
The following specifications shall apply to all plant material proposed in accordance with the landscaping requirements of this Ordinance:
- Deciduous Shade Trees:** Deciduous shade trees shall be a minimum of two and one half (2.5) inches in caliper measured twelve (12) inches above grade with the first branch a minimum of four (4) feet above grade when planted.
 - Deciduous Ornamental Trees:** Deciduous ornamental trees shall be a minimum of two (2) inches in caliper measured six (6) inches above grade with a minimum height of three (3) feet above grade when planted.
 - Evergreen Trees:** Evergreen trees shall be a minimum of eight (8) feet in height when planted. Furthermore, evergreen trees shall have a minimum spread of two and one-half (2.5) feet, and the size of the burlapped root ball shall be at least ten (10) times the caliper measured six (6) inches above grade.
 - Shrubs:** Shrubs shall be a minimum of three (3) feet in height when planted. Low growing shrubs shall have a minimum spread of twenty four (24) inches when planted.
 - Hedges:** Hedges shall be planted and maintained so as to form a continuous, unbroken, visual screen within two (2) years after planting, barring unusual growing conditions, such as drought or disease. Hedges shall be a minimum of three (3) feet in height when planted.
 - Ground Cover:** Ground cover used in lieu of turf grasses in whole or in part shall be planted in such a manner as to present a finished appearance and reasonably complete coverage after one (1) complete growing season.
 - Grass:** Grass area shall be planted using species normally grown as permanent lawns in central Michigan. Grass, sod, and seed shall be clean and free of weeds, pests, and diseases. Grass may be sodded, plugged, sprigged or seeded. When grass is to be established by a method other than complete sodding or seeding, nurse grass seed shall be sown for immediate effect and protection until complete coverage is otherwise achieved. Straw or other mulch shall be used to protect newly seeded areas.
 - Mulch:** Mulch used around trees, shrubs, and vines shall be a minimum of three (3) inches deep, and installed in a manner as to present a finished appearance.

KEY

Key	1	1	1	1		
Item	Based on.....	Value	Deciduous or Evergreen	Ornamental Trees	Shrubs	Shade Tree
Front	Frontage width less Entrance width	181 ft	1 per 40 ft	5	1 per 100 ft	2
Parking Lot	Number of spaces	35 spaces	0	0	0	1 per 5 spaces
Totals			5	2	37	7



KEY BOTANICAL & COMMON NAME SIZE

Key	Botanical & Common Name	Size
Canopy Trees		
AS	Acer saccharum 'Green Mountain'/Sugar Maple	2.5" cal.
QU	Quercus sp./Oak Tree	2.5" cal.
GT	Gleditsia v. inermis 'Skyline'/Honeylocust	2.5" cal.
Ornamental Trees		
AG	Amelanchier s.g. 'Autumn Brilliance'/Serviceberry	2" cal.
ML	Malus 'Royal Raindrops'/Pink Flowering Crabapple	2" cal.
KC	Prunus s. 'Kwanzan'/Kwanzan Flowering Cherry	2" cal.
Evergreen Trees		
JG	Juniperus c. 'Hetzli Columnaris'/Green Columnar Juniper	8" ht
PA	Picea abies/Norway Spruce	8" ht
PG	Picea glauca/White Spruce	8" ht
Shrubs		
JC	Juniperus h. 'Broadmoor'/Low Juniper	5 gal
T.A.	Taxus 'Fastonii'/Faston Yew	5 gal
JB	Juniperus c. Pfitzer Compacta / Low Juniper	5 gal
Min. height of 3' / min. spread of 24"		

DETECTION BASIN SEED MIX

Botanical Name	Common Name
Grasses, Sedges & Rushes	
Lolium multiflorum	Annual Ryegrass
Carex stipata	Awl-fruited Sedge
Avena fatua	Common Oat
Elymus canadensis	Common Spike Grass
Cynodon dactylon	St. Augustine Grass
Carex vulpinoidea	Pine Sedge
Juncus tenuis	Path Grass
Spartina pectinata	Prairie Cordgrass
Leersia oryzoides	Rice Cut Grass
Juncus effusus	Soft Rush
Schoenoplectus tabernaemontani	Soft Bulrush
Panicum virgatum	Bowlinggrass
Elymus virginicus	Virginia Wildrye

Groundcover Hydroseeded Mix

Festuca arundinacea / Tall fescue	220 lbs/acre
Poa pratensis/ Kentucky Bluegrass	
Lolium perenne/ Perennial Ryegrass	

PLANT LIST AND LEGEND

DECIDUOUS TREE - PRUNE BACK 1/4" ON-SITE
SPRAY WITH ANTIDISECANT ACCORDING TO MANUFACTURER'S INSTRUCTIONS - IF FOLIAGE IS PRESENT, DOUBLE STRAND OF 10 GAUGE GALVANIZED WIRE TWISTED.
2-1/2" DIA.-10' LONG CEDAR STAKE WITH NOTCHED END (7" EXPOSED) - 2 PER TREE
FOLD BACK BURLAP FROM TO OF BALL
2" MULCH
BACKFILL WITH TOPSOIL AND PEAT MOSS 3:1 RATIO BY VOLUME IN 9" LAYERS. WATER EACH LAYER UNTIL SETTLED.
NOTE: WRAP DECIDUOUS TREES OVER 1" CAL. WITH BURLAP OR ASPHALTIC KRINKLE KRAFT TREE WRAP.

3 GUYS OF 10 GAUGE TWISTED WIRE 120" APART - AROUND TREE.
TURNBUCKLE
4" SOIL SAUCER
24" X 2" X 2" STAKE DRIVEN FLUSH WITH FINISHED GRADE.
NOTE: FOR EVERGREEN TREES, GROUND LINE TO BE THE SAME AS EXISTED AT THE NURSERY
EQUALS TWICE BALL DIAMETER
LOOSEN SUBSOIL
EQUALS TWICE BALL DIAMETER
6" MIN. (PLANTS UP TO 4' HEIGHT)
8" (PLANTS OVER 4' HEIGHT)

jozwiak consulting
PROJECT ENGINEER
1435 FULTON ST., 2ND FLOOR
MIDWEST V. LLC
GRAND HAVEN, MI 49417

PROJECT: RETAIL BUSINESS, MICHIGAN
CLIENT: MT. PLEASANT, MICHIGAN
PROJECT NO.: 2021-101
LANDSCAPE PLAN



LOCATION: 5048 & 5082 E. PICKARD ROAD, MT. PLEASANT, MI 48858

PLAN DATE: 5-21-2021
SITE PLAN SUBMITTAL TO TOWNSHIP BOARD: 5-21-2021
TOWNSHIP BOARD REVIEW COMMENTS: 7-7-2021
REVISIONS BASED ON SITE PLAN REVIEW COMMENTS DATED 7-29-2021
8-3-2021

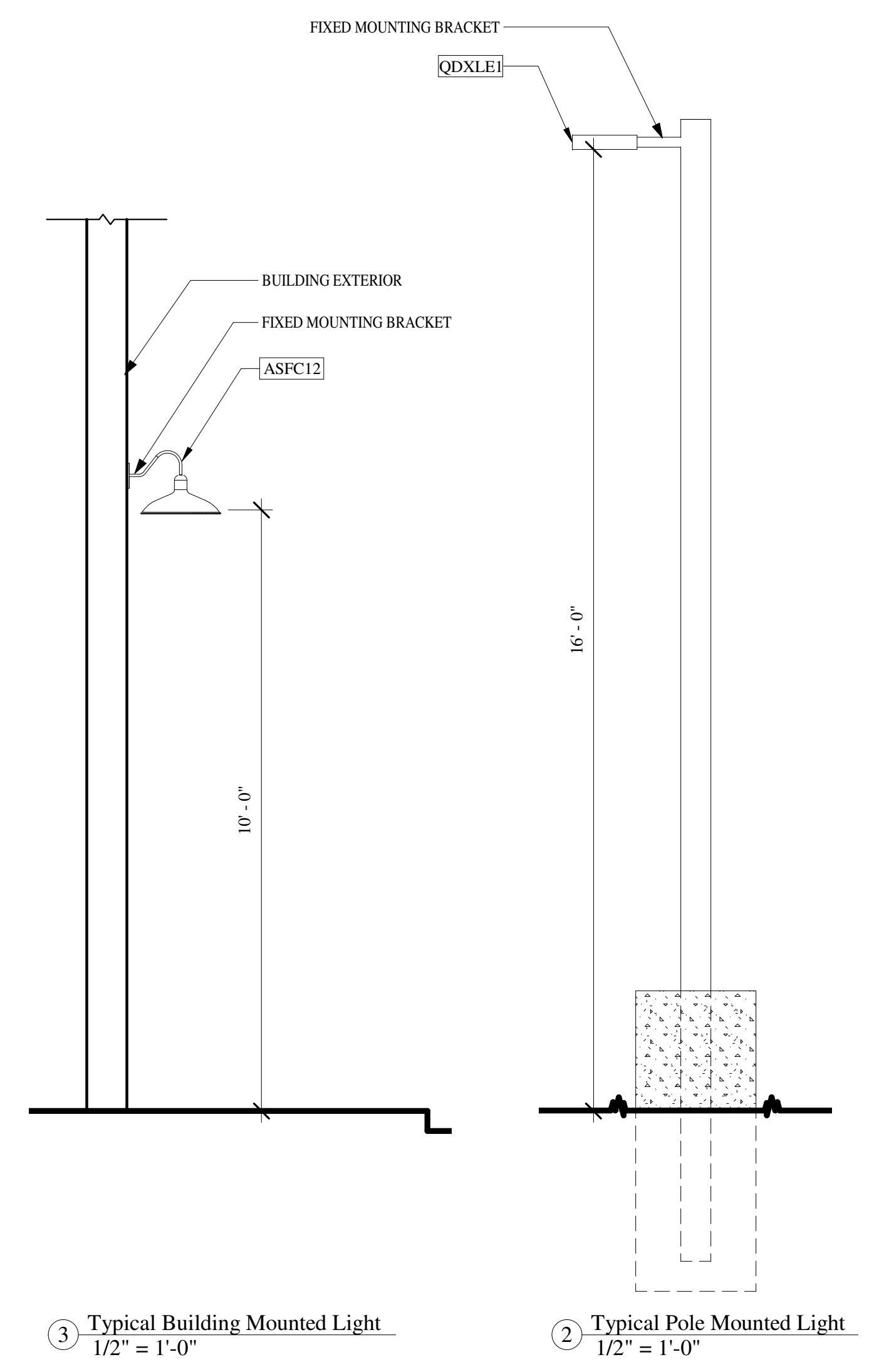
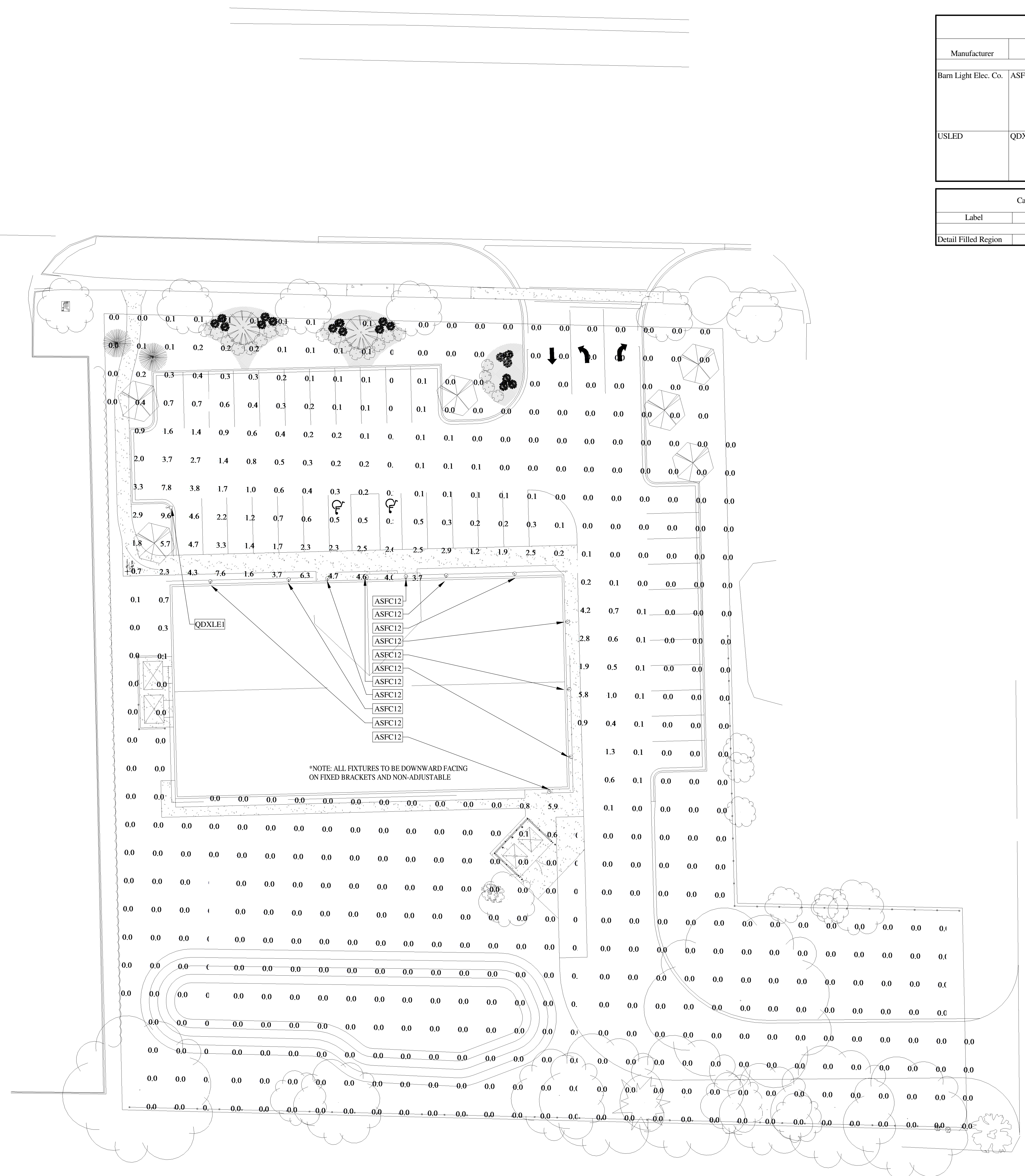
L1.0

PROPOSED NEW BUILDING

Mt Pleasant, MI.

Lighting Fixture Schedule						
Manufacturer	Model	Count	Description	Luminaire Lumens	Wattage	Image
Barn Light Elec. Co.	ASFC12	11	Exterior Goose Neck Sign Light in Bronze	1081 lm	12 W	
USLED	QDXLE1	1	Site Light Pole Mounted	13502 lm	102 W	

Calculation Summary @ Grade - Calculation Points = 10x10'					
Label	Average	Maximum	Minimum	Avg/Min	Max/Min
Detail Filled Region	0 fc	10 fc	0 fc	29938.1	875541.5

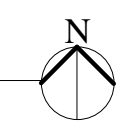


PROJECT NUMBER		
XXXXX		
DATE: 2021.07.30		
DRAWN BY: NTH		
CHECKED BY: JDV		
Revision Schedule		
No.	Description	Date
Conceptual		

Photometric
Plan

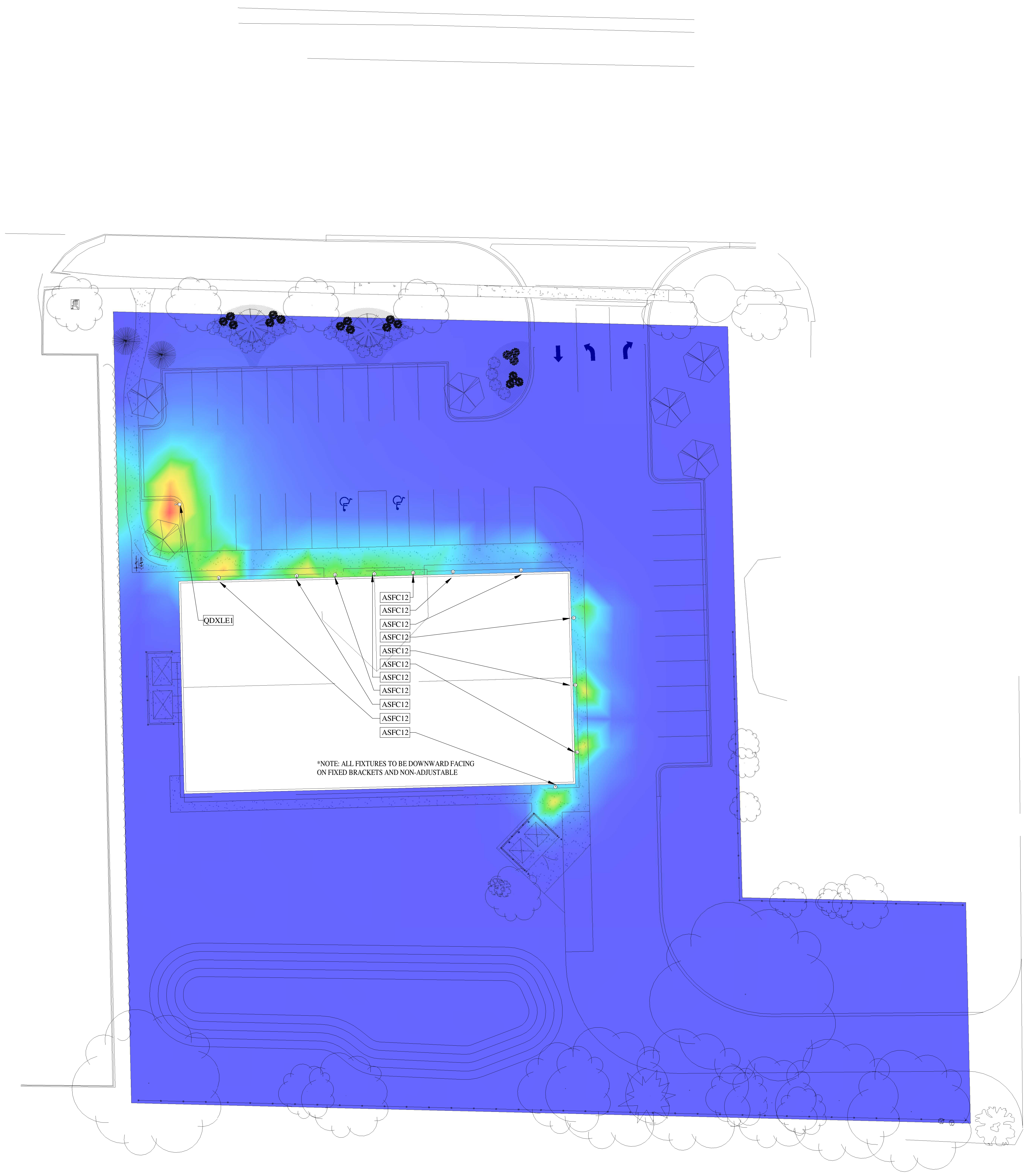
E 400

1 Site Photometric Points
1" = 20'-0"

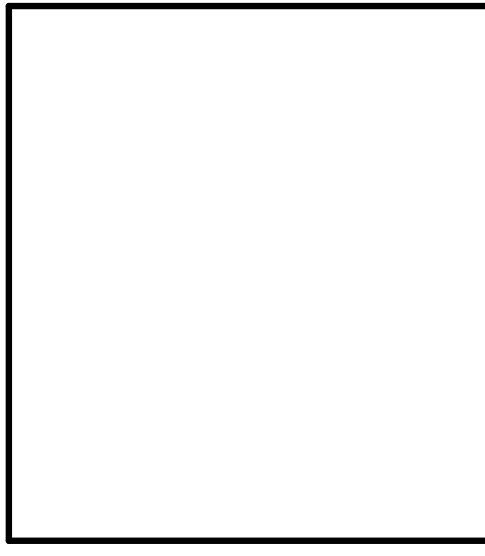


PROPOSED NEW BUILDING

Mt Pleasant, MI.



1 Site Photometric Spatial Map
 1" = 20'-0"



PROJECT NUMBER	XXXXX
DATE:	2021.07.30
DRAWN BY:	NTH
CHECKED BY:	JDV

Revision Schedule		
No.	Description	Date

Conceptual
 Photometric Spatial Map

E 401

PROPOSED NEW BUILDING

Mount Pleasant, MI.

NOT FOR CONSTRUCTION

PROJECT NUMBER
 TBD
 DATE: 2021.06.22
 DRAWN BY: NTH
 CHECKED BY: PO

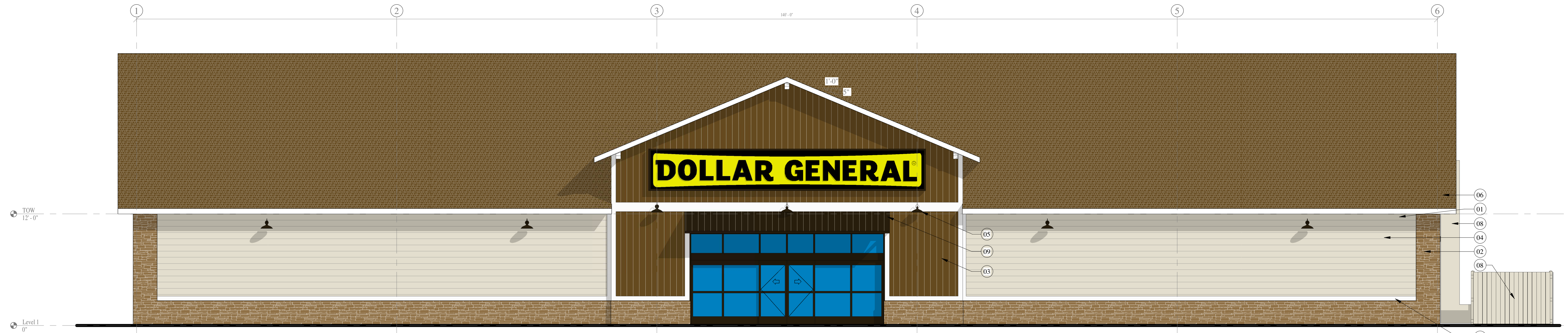
Revision Schedule

No.	Description	Date

Conceptual

ELEVATIONS

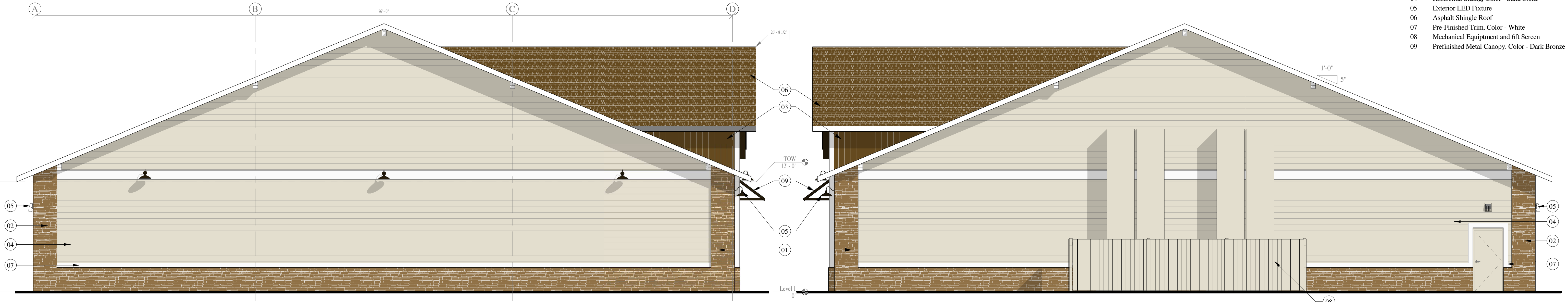
A2.0



① Front Elevation
 3/16" = 1'-0"

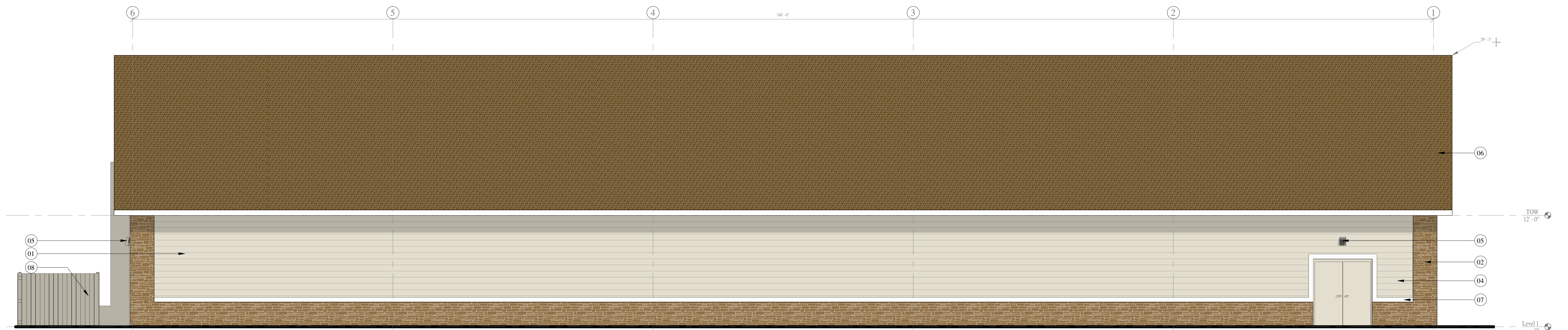
Keynote Legend

Number	Description
01	Wood Framed Building and Truss
02	Stacked Stone Veneer
03	Vertical Siding, Color - Dark Bronze
04	Horizontal Siding, Color - Sand Stone
05	Exterior LED Fixture
06	Asphalt Shingle Roof
07	Pre-Finished Trim, Color - White
08	Mechanical Equipment and 6ft Screen
09	Prefinished Metal Canopy, Color - Dark Bronze

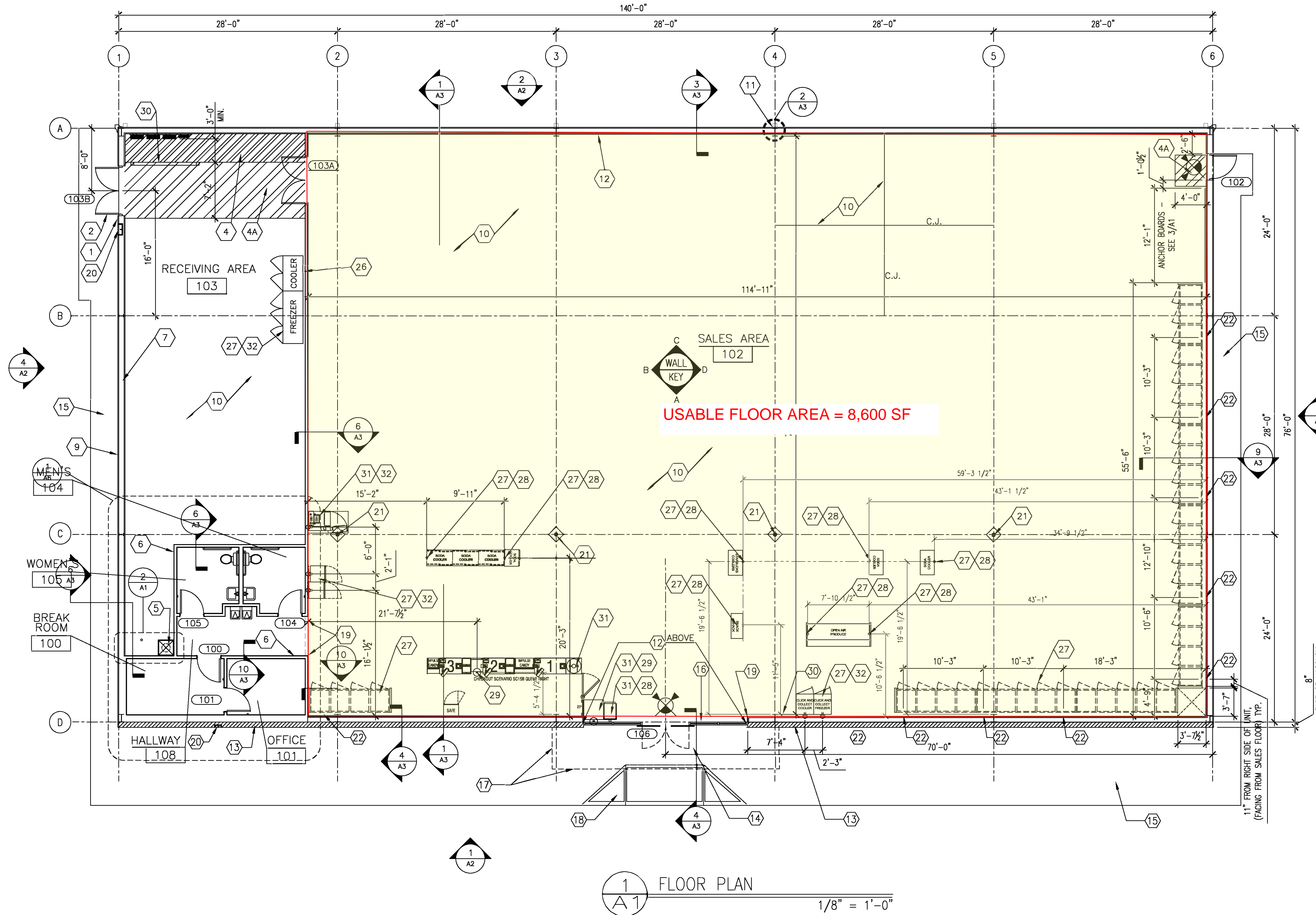


④ Side Elevation (Loading)
 3/16" = 1'-0"

③ Side Elevation
 3/16" = 1'-0"



② Rear Elevation
 3/16" = 1'-0"



FLOOR PLAN KEYED NOTES

- ① RECEIVING DOOR BUZZER
- ② 2" DOOR SCOPE.
- ③ NOT USED
- ④ STRIPE FLOOR FOR DESIGNATED CLEAR EGRESS PATH (PAINT YELLOW) AND DESIGNATED EMS PANEL CLEARANCE (PAINT RED).
- ④A STRIPE FLOOR FOR DESIGNATED CLEAR ADA EGRESS PATH (PAINT YELLOW.)
- ⑤ PROVIDE AND INSTALL A TEN GALLON WATER HEATER (OR LARGER IF REQUIRED BY CODE) ABOVE THE MOP SINK.
- ⑥ METAL STUD WITH 1/2" GYP. BD. SEE WALL SECTION SHEET A3.
- ⑦ METAL LINER PANELS TO 8'-0" A.F.F. (BY PRE-ENGINEERED BUILDING MANUFACTURER).
- ⑧ DIMENSIONS TO BE FROM COLUMN LINE UNLESS OTHERWISE NOTED.
- ⑨ METAL BUILDING PANELS (BY PRE-ENGINEERED BUILDING MANUFACTURER).
- ⑩ CONCRETE SLAB WITH STRUCTURAL MIN. 6x6xW1.4 WELDED WIRE MESH OVER POLYETHYLENE VAPOR BARRIER (MIN. 10 MM THICK) OVER CRUSHED STONE BASE, TYPICAL, OR EQUIVALENT. PROVIDE CONTROL JOINTS AT 14'-0" ON CENTER EACH WAY MAX. SEE SHEET S3.
- ⑪ METAL BUILDING FRAME. REFER TO DETAIL 3/A3 FOR ADDITIONAL INFORMATION.
- ⑫ METAL LINER PANELS (28/29 GAUGE) WITH 1/2" GYPSUM BOARD. SEE INTERIOR ELEVATIONS ON SHEET A4. PROVIDE R-13 METAL BUILDING INSULATION.
- ⑬ 8" SPLIT FACED CMU PAINTED SW #7037 BALANCED BEIGE. ALIGN FACE OF BLOCK WITH STEEL GIRT. PROVIDE PROPER ANCHORAGE TO STRUCTURE.
- ⑭ SLOPE CONCRETE 1/8" PER FOOT AWAY FROM BUILDING.
- ⑮ COORDINATE CONCRETE SIDEWALK WITH CIVIL AND BROOM FINISH, TYP.
- ⑯ BRONZE STOREFRONT SYSTEM. REFER TO SHEETS A4 AND A5 FOR ADDITIONAL INFORMATION. CONTINUE METAL LINER PANELS TO DECK.
- ⑰ LINE OF SOFFIT OR CANOPY ABOVE.
- ⑱ A.D.A. COMPLIANT H.C. RAMP WITH PAINTED SIDES TO ACCESSIBLE PARKING STALLS, REFER TO CIVIL.
- ⑲ MC CUE CART AND BUMPER GUARDS 3'-5" A.F.F., ORDER TRIMKIT FOR THIS PROTOTYPE.
- ⑳ WALL HYDRANT. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- ㉑ ROUND STEEL PIPE COLUMN WITH RECESSED BASE PLATE-PAINT SECOND CONCRETE POUR SW6991 BLACK MAGIC. PAINT STEEL COLUMN SW7005 PURE WHITE. WRAP COLUMN WITH TIGHT LOOP CARPET (BLACK) 48" HIGH AT BASE.
- ㉒ WALL OUTLETS FOR BANKS OF COOLERS AND FREEZERS. SEE ELECTRICAL FOR DETAILS. OUTLETS TO BE 11" FROM RIGHT SIDE OF UNITS AS YOU FACE THEM FROM THE SALES FLOOR.
- ㉓ NOT USED.
- ㉔ NOT USED.
- ㉕ NOT USED
- ㉖ MAINTAIN 2" AIR GAP BETWEEN THE REACH IN COOLER / FREEZER AND THE WALL FOR VENTILATION
- ㉗ REFRIGERATION BY OWNER.
- ㉘ FREESTANDING COOLER/FREEZERS (INCLUDING PRODUCE COOLER AND DISPLAY LIGHTING) TO BE HARDWIRED THROUGH SO CORD. GC TO LEAVE BOTTOM OF CORD HANGING AT 80" A.F.F. (SEE ELECTRICAL). SO CORD ANCHORED TO PURLINS ABOVE. COORDINATE LOCATION WITH FINAL FIXTURE PLAN.
- ㉙ POWER POLE. COORDINATE FINAL LOCATION WITH FINAL FIXTURE PLAN (F01).
- ㉚ MC CUE RAILING IN FRONT OF ELECTRICAL PANEL. 8'-0" LONG WITH TWP TOP RAILINGS AND NO MIDDLE POST.
- ㉛ NON-REFRIGERATION EQUIPMENT (REGISTERS, HIGH KIOSK, ATM, KEYME) BY OWNER.
- ㉜ REFRIGERATION AND NON-REFRIGERATION EQUIPMENT ON WALLS TO BE POWERED THROUGH OUTLETS - SEE ELECTRICAL. COORDINATE LOCATION WITH FINAL FIXTURE PLAN.

From: [Rick Collins](#)
To: [Scott Jozwiak](#)
Cc: [Peter Gallinat](#)
Subject: RE: New Retail Business 5048 E. Pickard
Date: Tuesday, July 27, 2021 10:54:00 AM
Attachments: [image001.jpg](#)

I still have no issues with the attached plans.



Rick Collins | Executive Director
2100 E. Transportation Dr | Mt. Pleasant, MI 48858
Phone 989.773.6766 | Fax 989.773.1873
rcollins@ictcbus.com
Visit our website at ictcbus.com

From: Scott Jozwiak <scott@jozwiakconsulting.com>
Sent: Tuesday, July 27, 2021 10:42 AM
To: Rick Collins <rcollins@ictcbus.com>
Subject: RE: New Retail Business 5048 E. Pickard

Hi Rick,

We had to make some changes to the plans for our project and would like to get an updated response from you for the planning commission.

Can you review and let us know if you find any issues with this revised plan?

Thank you,
Scott.

Scott Jozwiak, PE
Jozwiak Consulting
p 231.218.1201
PO Box 5342, Traverse City, MI 49696
13300 S W. Bayshore Dr., Traverse City, MI 49684
scott@jozwiakconsulting.com | www.jozwiakconsulting.com

From: Rick Collins <rcollins@ictcbus.com>
Sent: Monday, May 24, 2021 1:21 PM
To: Scott Jozwiak <scott@jozwiakconsulting.com>
Cc: 'pgallinat@uniontownshipmi.com' <pgallinat@uniontownshipmi.com>
Subject: RE: New Retail Business 5048 E. Pickard

I have no issues/questions with the attached plans.



Rick Collins | Executive Director

2100 E. Transportation Dr | Mt. Pleasant, MI 48858

Phone 989.773.6766 | Fax 989.773.1873

rcollins@ictcbus.com

Visit our website at ictcbus.com

From: Scott Jozwiak <scott@jozwiakconsulting.com>

Sent: Monday, May 24, 2021 1:01 PM

To: Rick Collins <rcollins@ictcbus.com>

Subject: New Retail Business 5048 E. Pickard

Hi Rick,

I am contacting you as part of the required agency outreach/approval process in preparation for our site plan review in Union Township. The Isabella County Transportation Commission is one of the agencies listed.

Attached are our site plans for a new retail store located on 5048 and 5082 E. Pickard. I am hoping that this request is typical and that you will know how to respond to this information.

If you have any questions about the project itself, please call or email me.

Thanks Rick,
Scott.

Scott Jozwiak, PE
Jozwiak Consulting
p 231.218.1201
PO Box 5342, Traverse City, MI 49696
13300 S W. Bayshore Dr., Traverse City, MI 49684
scott@jozwiakconsulting.com | www.jozwiakconsulting.com

From: [Scott Jozwiak](#)
To: [Rodney Nanney](#)
Subject: FW: App Ref No. 77447: Notice of approval
Date: Tuesday, June 8, 2021 7:03:06 AM

Hi Rodney,

Not sure if MDOT forwarded a copy to you.

Let me know how things are progressing with your review.

Thanks,
Scott.

From: Burrows, Ben (MDOT) <Burrowsb@michigan.gov>
Sent: Thursday, May 27, 2021 10:25 AM
To: Scott Jozwiak <scott@jozwiakconsulting.com>
Cc: Loynes, Michael (MDOT) <LoynesM@michigan.gov>
Subject: RE: App Ref No. 77447: Notice of approval

Scott and Rodney,

We have approved the location of your proposed drive for a Dollar General App Ref No. 77447. Before we can issue the permit we will need a \$25,000 performance bond and liability insurance from your contractor.

Please let me know if you need anything.

Thank you,
Ben

Ben Burrows
Mt. Pleasant TSC
1212 Corporate Drive
Mount Pleasant, Mi 48858
989-239-2645

From: Scott Jozwiak <scott@jozwiakconsulting.com>
Sent: Thursday, May 27, 2021 9:38 AM
To: Burrows, Ben (MDOT) <Burrowsb@michigan.gov>
Subject: RE: App Ref No. 77447: Notice of approval

CAUTION: This is an External email. Please send suspicious emails to abuse@michigan.gov

It is a Dollar General

From: Burrows, Ben (MDOT) <Burrowsb@michigan.gov>
Sent: Tuesday, May 25, 2021 7:59 AM
To: Scott Jozwiak <scott@jozwiakconsulting.com>
Subject: RE: App Ref No. 77447: Notice of approval

Can you tell me what business is being proposed?

Thank you,
Ben

Ben Burrows
Mt. Pleasant TSC
1212 Corporate Drive
Mount Pleasant, Mi 48858
989-239-2645

From: Scott Jozwiak <scott@jozwiakconsulting.com>
Sent: Monday, May 24, 2021 4:39 PM
To: Burrows, Ben (MDOT) <Burrowsb@michigan.gov>
Subject: App Ref No. 77447: Notice of approval

CAUTION: This is an External email. Please send suspicious emails to abuse@michigan.gov

Hi Ben,

You are reviewing the above referenced application. I saw your remark regarding widening the entrance and then submitting bond and insurance. On Friday, I uploaded the revised plan that you requested.

Would you be able to provide me (and Rodney Nanney) an email of your approval of the plans and that a permit would be issued upon receipt of the bond and insurance which is something that we would provide to you once we get closer to construction. That would be helpful for our planning commission meeting.

Thanks Ben,
Scott.

Scott Jozwiak, PE
Jozwiak Consulting
p 231.218.1201
PO Box 5342, Traverse City, MI 49696
13300 S W. Bayshore Dr., Traverse City, MI 49684

MT. PLEASANT FIRE DEPARTMENT

INSPECTION REPORT

5048 & 5082 E PICKARD RD, MOUNT PLEASANT MI 48858



DETAILS

Inspection Date: 07/14/2021 | Inspection Type: PLAN REVIEW UNION TOWNSHIP - Site | Inspection Number: 2071 |
Shift: Lieutenant | Station: Mt. Pleasant Fire Department | Unit: N/A | Lead Inspector: BRADLEY DOEPKER | Other Inspectors: N/A

STATUS	CODE	DESCRIPTION
FAIL	1 PROPERTY - Identification	No Code Description Inspector: BRADLEY DOEPKER - Comments: Will need to be completed prior to completion.
FAIL	501.4 - Timing of installation.	When fire apparatus access roads or a water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except when approved alternative methods of protection are provided. Temporary street signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles in accordance with Section 505.2. Inspector: BRADLEY DOEPKER - Comments:
FAIL	503.1.1 - Buildings and facilities.	Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Exception: The fire code official is authorized to increase the dimension of 150 feet (45 720 mm) where: 1. The building is equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3. 2. Fire apparatus access roads cannot be installed because of location on property, topography, waterways, nonnegotiable grades or other similar conditions, and an approved alternative means of fire protection is provided. 3. There are not more than two Group R-3 or Group U occupancies. Inspector: BRADLEY DOEPKER - Comments:
FAIL	503.2.1 - Dimensions.	Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm). Inspector: BRADLEY DOEPKER - Comments:

STATUS	CODE	DESCRIPTION
FAIL	503.2.3 - Surface.	<p>Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all- weather driving capabilities.</p> <p>Inspector: BRADLEY DOEPKER - Comments:</p>
FAIL	503.3 - Marking.	<p>Where required by the fire code official, approved signs or other approved notices or markings that include the words NO PARKING—FIRE LANE shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility.</p> <p>Inspector: BRADLEY DOEPKER - Comments:</p>
FAIL	ACCESS ROAD 150 FT - Buildings within 150ft of Access Road	<p>All portions of a building are required to be within 150 feet of an approved Fire Department access road, in accordance with Chapter 5, Section 503.1.1 of the 2012 Edition of the International Fire Code.</p> <p>Inspector: BRADLEY DOEPKER - Comments:</p>
FAIL	ACCESS ROAD LOAD - Designed and Maintained to Support the Load	<p>All fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all- weather driving capabilities in accordance with Chapter 5, Sections 503.2.3 and 503.4 of the 2012 Edition of the International Fire Code.</p> <p>Inspector: BRADLEY DOEPKER - Comments:</p>
FAIL	ACCESS ROAD OBSTRUCTED - Dimensions and Clearances	<p>All fire apparatus access roads, including parking lots, shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches in accordance with Chapter 5, Sections 503.2.1, 503.2.2, 503.3 and 503.4 of the 2012 Edition of the International Fire Code. Fire Prevention Ordinance 93.02(D)</p> <p>Inspector: BRADLEY DOEPKER - Comments:</p>
FAIL	ACCESS ROAD SIGNAGE - Signage Requirements	<p>All fire apparatus access roads shall be conspicuously posted with uniform "NO PARKING" or "FIRE LANE" signs in keeping with the standard established in applicable law, or as prescribed by the fire code Official and erected on both sides of the fire apparatus access roads. Signs shall be erected no further than 100 feet apart in all areas designated as fire apparatus access roads. Signs shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility, in accordance with Chapter 5, Section 503.3 of the 2012 Edition of the International Fire Code. Fire Prevention Ordinance 93.02(E)</p> <p>Inspector: BRADLEY DOEPKER - Comments:</p>

STATUS	CODE	DESCRIPTION
FAIL	ACCESS ROAD W/HYDRANT - Width of Road with a Fire Hydrant	<p>Where a fire hydrant is located on a fire department apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders as in accordance with Appendix D, Section D103.1 of the 2012 Edition of the International Fire Code.</p> <p>Inspector: BRADLEY DOEPKER - Comments:</p>
FAIL	BUILDING IDENTIFICATION - Buildings Shall Have Address Numbers	<p>Provide address identification numbers in accordance with Chapter 5, Sections 505.1 of the 2012 Edition of the International Fire Code or applicable to the City of Mt. Pleasant code of ordinances 150.01 Land Usage.</p> <p>Inspector: BRADLEY DOEPKER - Comments:</p>
FAIL	DIMENSIONS - Road Width Without Hydrants	<p>Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches.</p> <p>Inspector: BRADLEY DOEPKER - Comments:</p>
FAIL	GENERAL STATEMENT - List Not All-Inclusive	<p>This list shall not be considered all-inclusive, as other requirements may be necessary, additional requirements are located in Chapter 5 and appendixes B, C, and D of the 2012 Edition of the International Fire Code.</p> <p>Inspector: BRADLEY DOEPKER - Comments:</p>
FAIL	HYDRANT DISTANCE - Hydrant maximum distance from buildings	<p>Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. Exceptions: 1. For Group R-3 and Group U occupancies, the distance requirement shall be 600 feet (183 m). 2. For buildings equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2, the distance requirement shall be 600 feet (183 m).</p> <p>Inspector: BRADLEY DOEPKER - Comments: Hydrant will have to be provided within 400ft of all portions of the exterior of the building. It is noted that no hydrant location or information was on the site plan.</p>
FAIL	HYDRANT LOCATION - Hydrant adjacent to access roads & public streets	<p>C102.1 FIRE HYDRANT LOCATIONS: Fire hydrants shall be provided along required access roads and adjacent public streets, in accordance with the 2012 International Fire Code.</p> <p>Inspector: BRADLEY DOEPKER - Comments:</p>

STATUS	CODE	DESCRIPTION
FAIL	HYDRANT PROTECTION - Hydrant minimum distance from Buildings	NFPA 24 7.2.3 Hydrants shall be located not less than 40 ft (12m) from the buildings to be protected. Hydrants in parking areas or in any area in which they are exposed to potential damage should be protected by bollards on all sides. The bollards should not be closer than 4 ft (1.2m) to the protected hydrant. When located near a roadway, the hydrant should be placed within 6 ft (1.8m) of the pavement, unless the AHJ determines another location is more acceptable. Inspector: BRADLEY DOEPKER - Comments:
FAIL	KNOX BOX - Knox Box Requirements and Location	Provide a Knox Key entry device and install it in approved location by the Fire Code Official, as in accordance with Chapter 5, Section 506.1, 506.1.1 and 506.2 of the 2012 Edition of the International Fire Code. (Go to Knoxbox.com and search by fire department or zip code - select "Mt. Pleasant Fire Department" and place order for the type of Knox box desired.) Inspector: BRADLEY DOEPKER - Comments:
FAIL	WATER SUPPLY (DEAD END) - 8in Dead End Capable of Required Fire Flow	Provide an approved water supply capable of supplying the required fire flow for fire protection in accordance with Chapter 5, Section 507.1 of the 2012 Edition of the International Fire Code. (Provide the department with data to verify that the proposed dead end water supplies will provide the required fire flow for the proposed fire hydrants and the proposed building fire suppression system.) Inspector: BRADLEY DOEPKER - Comments:
FAIL	WATER SUPPLY (MAIN) - 8 in Water Main Supply	All water main supply lines shall be a minimum of 8." Inspector: BRADLEY DOEPKER - Comments:
FAIL	WATER SUPPLY (SPACING) - Number and Spacing of Hydrants	Provide fire hydrant locations in accordance with Chapter 5, Section 507.5.1 of the 2012 Edition of the International Fire Code. The number and spacing of fire hydrants is based on the construction type and square footage of the building in accordance with Appendix B and C and tables B105.1 and C105.1 of the 2012 Edition of the International Fire Code. Inspector: BRADLEY DOEPKER - Comments:

REINSPECTION DATE

09/13/2021

CONTACT SIGNATURE

Scott Jozwiak

Contact Refused
Refusal Reason: NA

INSPECTOR SIGNATURE

BRADLEY DOEPKER
Signed on: 07/14/2021 @ 10:11



QUESTIONS ABOUT YOUR INSPECTION?

BRADLEY DOEPKER
bdoepker@mt-pleasant.org
(989) 779-5150

Sam **B**er **E**ngineering

Bruce E. Rohrer, P.E.
1216 E Gaylord St.
Mt. Pleasant, Michigan 48858
(989) 330-2150

August 6, 2021

Peter Galliant
Charter Township of Union
2010 South Lincoln Road
Mt. Pleasant, Michigan 48858

Re: Storm Water Management Plan for 5048 & 5082 E. Pickard St

Mr. Galliant:

I reviewed the Storm Water Management Plan prepared Jozwiak Consulting, for the above captioned project located in part of the Northwest ¼ of Northwest ¼ of Section 136, Union Township. The proposed revised storm water plan, dated 07-29-2021, is consistent with the Union Township Storm Water Ordinance.

If you have any questions or need further information, please feel free to contact me.

Sincerely,



Bruce E. Rohrer, P.E.
Consulting Engineer
Isabella County

BER/taw

cc: Scott Jozwiak, P.E.; scott@jozwiakconsulting.com

COMBINED PRELIMINARY – FINAL SITE PLAN REPORT

TO:	Planning Commission	DATE:	August 10, 2021
FROM:	Peter Gallinat, Township Zoning Administrator	ZONING:	B-7, Retail and Service Highway Business District
PROJECT:	PSPR 21-13 Final Site Plan Application for a new Dollar General retail store.		
PARCELS:	PID 14-146-00-003-00 & -005-00		
OWNERS:	Marguerite Roy and United Commercial UII LLC; Midwest V LLC authorized by both parties to submit the site plan application		
LOCATION:	Approximately 1.574 acres on the south side of E. Pickard Rd. (M-20) east of S. Isabella Rd. in the NW 1/4 of Section 13.		
EXISTING USE:	Existing dwelling and vacant	ADJACENT ZONING:	R-2B (One- and Two-Family, Medium Density Residential District) and B-7 (Retail and Service Highway Business District).
FUTURE LAND USE DESIGNATION: <u>Retail/Service</u> . This district is intended for the widest variety of retail and service businesses. They could range from apparel shops, auto service, and restaurants through small commercial strip centers and office buildings. This district is not intended for heavy commercial/light industrial uses like landscaping or contractor yards, heavy auto repair, or similar uses that may require some form of outside storage. Locations for this district are based on arterial road frontage and the need for high traffic volumes with convenient, well managed access.			
ACTION REQUESTED: To review the PSPR 21-13 final site plan dated July 7, 2021 for a new Dollar General retail business located on the south side of E. Pickard Rd. (M-20) east of S. Isabella Rd. in the NW 1/4 of Section 13 and in the B-7 (Retail and Service Highway Business) District.			

Site Plan Review Comments

Planning Commission approval of a final site plan “constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met” (Section 14.2.L.). The following comments are based on the standards for final site plan approval and specific elements of the proposed site plan:

- Section 14.2.P. (Required Site Plan Information).** The revised site plan meets the minimum Section 14.2.P. information requirements for a final site plan. The site plan is missing a note about the 3-foot distance from the internal sidewalk and bike rack area, but upon scaling the plan it was determined to be consistent with the requirement.
CONFORMS

2. **Section 8 (Environmental Performance Standards).** The applicant has provided the required documentation to confirm compliance with this Section. **CONFORMS**
3. **Section 3.6. – Dimensional Standards.** The proposed building conforms to the 35-foot maximum height requirement, and the yard setback dimensions depicted on the site plan conform to the minimum requirements of the B-7 District. **CONFORMS**
4. **Section 7.10 (Sidewalks and Pathways).** The applicant has proposed to provide a new internal sidewalk connection into the site to the public building entrance. **CONFORMS**
5. **Section 9 (Parking, Loading, and Access Management).** The parking calculations and arrangement of proposed vehicular parking and loading facilities on the site plan generally conforms to the requirements of Section 9. Required bicycle parking and snow storage areas are depicted on the revised site plan. **CONFORMS**

6. **Building Form and Composition.** The subject land is located within the East Downtown Development Authority (DDA) District. Through the Economic Development Authority Board, which oversees the DDA District, the Township has invested over \$9 Million in public improvements, infrastructure upgrades, and corridor beautification since 1993. The East DDA manages the public sidewalks, park benches, and trash receptacles (including regular maintenance, seasonal clean-up, and sidewalk snowplowing); the decorative streetlights; and a system of underground irrigation within the E. Pickard Rd. right-of-way. The East DDA also funds annual flower and banner displays, lawncare along the road margins, and holiday lighting. All of this is done for the purpose of fostering a more consistent, dynamic, and upmarket visual character for the district, which in turn helps to support a vibrant and resilient business community along the M-20 corridor.

Business and property owners along the corridor have responded to these improvements over the years by undertaking numerous private improvements, large and small, to older sites along the corridor. It is essential for new development in the East DDA District to be consistent in supporting the economic health of the district through building form and composition that is consistent with the District's emphasis on a dynamic and upmarket visual character. It is also essential that building design reflects the fact that a significant portion of the commercial corridor in the East DDA District directly abuts existing residential neighborhoods.

The applicant has greatly revised the outside design of the building from the previous submittal. With the exception of the air conditioning condenser units located on the west side of the building (facing towards Burger King and away from the adjacent residences), the HAVAC equipment is now enclosed within an attic space under a gable roofline to match residential houses nearby, along with the enhanced visual character needed for new development in the B-7 and East DDA districts. **CONFORMS**

7. **Section 8.2. - Exterior Lighting.** The exterior lighting information is adequate for final site plan approval. Applicant has revised fixtures to meet zoning requirements. Applicant has provided adequate lighting for the internal sidewalk. **CONFORMS**
8. **Section 10. – Landscaping and Screening.** The applicant added three additional trees from the original eight provided near the eastern parking spaces. However, these

additional three trees would be better suited on the south where the entrance off of Florence Street is located to create a complete greenbelt to the south with the existing trees. Applicant is in support of this change, which would need to be included on a revised final site plan. **CONFORMS**

9. **Outside agency approvals.** The applicant is responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval. To date, the Township has received documentation only from the Isabella County Transportation Commission, Isabella County Drain office for Storm Water Management and the Mt. Pleasant Fire Department. Approvals are still needed from the Isabella County Road Commission, MDOT, and the Township Public Services Department.

- Copies of all outside agency permits and approval letters will need to be submitted to Township staff as part of the revised site plan submittal.

Objective

The Planning Commission shall review the application materials and site plan, together with any reports and recommendations. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to approve the site plan, to approve the site plan with conditions, to deny the site plan application, or to postpone further consideration of the site plan to a date certain in accordance with Section 14.2.H. of the Zoning Ordinance.

Key Findings

The final site plan still needs outside agency approval from required agencies, but is sufficiently complete for Planning Commission final site plan review.

Recommendations

Based on the above findings, I would ask that the Planning Commission consider taking action to approve the PSPR 21-13 Final Site Plan for a new Dollar General retail store, subject to the following conditions:

1. Township Public Services Department approval, prior to issuance of building permits for this project.
2. Submittal of a revised final site plan with the landscaping location adjustments for administrative review and acceptance by the Zoning Administrator, prior to issuance of a building permit.

Please contact me at (989) 772-4600 ext. 241, or via email at pgallinat@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Peter Gallinat, Zoning Administrator

Community and Economic Development Department

Draft Motions: PSPR 21-13 Dollar General Final Site Plan Review Application

MOTION TO APPROVE:

Motion by _____, supported by _____, to approve the PSPR 21-13 final site plan for a new Dollar General retail store on parcel numbers 14-146-00-003-00 & -005-00, located on approximately 1.574 acres on the south side of E. Pickard Rd. (M-20) east of S. Isabella Rd. in the northwest quarter of Section 13 and in the and in the B-7 (Retail and Service Highway Business) zoning district, finding that the July 7, 2021 site plan fully complies with applicable Zoning Ordinance requirements for final site plan approval, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval).

MOTION TO APPROVE WITH CONDITIONS:

Motion by _____, supported by _____, to approve the PSPR 21-13 final site plan for a new Dollar General retail store on parcel numbers 14-146-00-003-00 & -005-00, located on approximately 1.574 acres on the south side of E. Pickard Rd. (M-20) east of S. Isabella Rd. in the northwest quarter of Section 13 and in the and in the B-7 (Retail and Service Highway Business) zoning district, finding that the July 7, 2021 site plan can comply with applicable Zoning Ordinance requirements for final site plan approval, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval), subject to the following condition(s):

1. Township Public Services Department approval, prior to issuance of building permits for this project.
2. Submittal of a revised final site plan with the landscaping location adjustments for administrative review and acceptance by the Zoning Administrator, prior to issuance of a building permit.

MOTION TO POSTPONE ACTION:

Motion by _____, supported by _____, to postpone action on the PSPR 21-13 final site plan for a new Dollar General retail store on parcel numbers 14-146-00-003-00 & -005-00 until _____, 2021 for the following reasons: _____

MOTION TO DENY:

Motion by _____, supported by _____, to deny the PSPR 21-13 final site plan for a new Dollar General retail store on parcel numbers 14-146-00-003-00 & -005-00, located on approximately 1.574 acres on the south side of E. Pickard Rd. (M-20) east of S. Isabella Rd. in the northwest quarter of Section 13 and in the and in the B-7 (Retail and Service Highway Business) zoning district, finding that the July 7, 2021 site plan does not comply with applicable Zoning Ordinance requirements, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval), for the following reasons:

Charter Township of Union

APPLICATION FOR SITE PLAN REVIEW

Minor Site Plan Preliminary Site Plan Final Site Plan

A Completed Application will contain all the information required per the Zoning Ordinance, Section 14.2 (Site Plan Review).

Name of Proposed Development/Project	Summerhill Village Community Center/ Sales office		
Common Description of Property & Address (if issued)	5280 Mission Road Mount Pleasant, MI 48858		
Applicant's Name(s)	Schrock Homes Inc. DBA Schrock Commercial		
Phone/Fax numbers	574-533-1148/574-533-5818	Email	fred@schrockcommercial.com
Address	2523 Messick Drive	City:	Goshen, IN Zip: 46526

Legal Description:	Attached	<input checked="" type="checkbox"/> Included on Site Plan	Tax Parcel ID Number(s):	14-034-20-001-00
Existing Zoning:	Land Acreage:	81.066	Existing Use(s):	Mobil Home Community
<input checked="" type="checkbox"/> ATTACHED: Letter describing the project and how it conforms to Section 14.2.5. (Standards for Site Plan Approval)				

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name:	Schrock Commercial	Phone:		Email	
	2. Address:	2523 Messick Drive				
	City:	Goshen	State:	IN	Zip:	46526
	Contact Person:	Fred Ham	Phone	574-340-5617		
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name:	The Four Leaf Companies	Phone:	708-781-1030		
	Address:	800 W. 22nd Street Suite 101				
	City:	Oak Brook	State:	IL	Zip:	60523
	Signature:		Interest in Property:	owner/lessee/other		
	2. Name:		Phone:			
	Address:					
	City:		State:	MI	Zip:	
	Signature:		Interest in Property:	owner/lessee/other		

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and/or removal of work installed. Approval of this plan shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.

Mike Colledge 5/18/21
Signature of Applicant Date

Office Use Only

Application Received By: _____ Fee Paid: \$ 650.00
Date Received: _____ Escrow Deposit Paid: \$ _____

Revised: 9/14/2020

CHARTER TOWNSHIP OF UNION

SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: SUMMIT HILL VILLAGE
Name of business owner(s): PLEASANT RIDGE PARTNERS LLC
Street and mailing address: 5280 MISSION ROAD
MOUNT PLEASANT, MI 48858
Telephone: 708-781-1030
Fax: _____
Email: MCALLAGHAN@FOURLEAFPROP.COM

I affirm that the information submitted is accurate.

Owner(s) signature and date: Mike Callaghan

Information compiled by: MIKE CALLAGHAN

Types and Quantities of Hazardous Substances and Polluting Materials Used, Stored or Generated On-Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on -site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

COMMON NAME	CHEMICAL NAME (components)	FORM	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
X NONE				KEY: AGT = above ground tank DM = drums UGT = underground tank CY = cylinders CM = metal cylinders CW = wooden or composition container TP = portable tank KEY: LIQ. = liquid P-LIQ. = pressurized liquid S = solids G = gas PG = pressurized gas

PERMIT INFORMATION CHECKLIST FOR FINAL SITE PLANS

Michigan.gov/EGLEpermits

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has prepared a list of key questions to help identify what EGLE permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from EGLE, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: Michigan.gov/EHSGuide. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the EGLE programs noted below. [insertions and edits by Union Township]

How Do I Know that I Need a State of Michigan, County or Local Permit or Approval?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
1) Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)? Air Quality Permit to Install, Air Quality Division (AQD), <u>Permit Section</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
2) Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos. Asbestos Notification, AQD, <u>Asbestos Program</u> , 517-284-6777	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
3) Please consult the <u>Permitting at the Land and Water Interface Decision Tree document</u> to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?). Land and Water Featured Programs (Water Resources Division - WRD) - <u>Joint Permit Application</u> , 517-284-5567:		
a. Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
b. Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
c. Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
d. Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
4) Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction) or does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? <u>Union Township and Isabella County</u>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
5) Does the project involve the construction or alteration of a water supply system system? <u>Union Township Public Services Department and Drinking Water & Environmental Health Division (DWEHD)</u> , 517-284-6524	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
6) Does the project involve construction or alteration of any sewage collection or treatment facility? <u>Union Township Public Services Department and WRD, Part 41 Construction Permit Program (staff)</u> , 906-228-4527, or <u>EGLE District Office</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
7) Public Swimming Pool Construction (Spas/Hot Tubs) Permits: Will your business involve the construction or modification of a public swimming pool, spa or hot tub? <u>Union Township and Public Swimming Pool Program</u> , 517-284-6541, or <u>EGLE District Office</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
8) Does the project involve the construction or modification of a campground? <u>Union Township and DWEHD, Campgrounds program</u> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

9) Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground? Materials Management Division (MMD), <u>Solid Waste</u> , 517-284-6588, or <u>EGLE District Office</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
10) Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste? MMD, Hazardous Waste Section, <u>Treatment, Storage and Disposal</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Who Regulates My Drinking (Potable) Water Supply?		
11) I am buying water from the municipal water supply system Contact the Union Township Public Services Dept.	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
12) I have a Non-Community Water Supply (Type II) <u>Guide</u> , <u>Contact (District or County) Local Health Department</u> , 517-485-0660	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
13) I am a community water supply (Type I) <u>Community Water Supply</u> , <u>DWEHD District Office Community Water Supply Program</u> , 517-284-6512	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
14) Do you desire to develop a <u>withdrawal of over 2,000,000 gallons of water per day</u> from any source including groundwater, inland surface water, or the Great Lakes and their connecting waterways? WRD, Great Lakes Shorelands Unit, Water Use Program, 517-284-5563	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Who Regulates My Wastewater Discharge System?		
15) NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? WRD, <u>EGLE District Office</u> , or <u>National Pollutant Discharge Elimination (NPDES) Permit Program</u> , 517-284-5568	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
16) Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? WRD, <u>Permits Section</u> , or <u>EGLE District Office</u> , 517-284-5588	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
17) Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)? WRD, <u>Groundwater Permits Program</u> , 517-290-2570	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
18) Does the project involve the drilling or deepening of wells for waste disposal? <u>Oil, Gas and Minerals Division (OGMD)</u> , 517-284-6841	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Operational Permits Are Relevant to My Operation and Air Emissions?		
19) Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? AQD, <u>Permit Section</u> , 517-284-6634	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
20) Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel? AQD, <u>Acid Rain Permit Program</u> , 517-780-7843	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Operational Permits Are Relevant to My Waste Management?		
21) Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground? <u>MMD</u> , 517-284-6588 or <u>EGLE District Office</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
22) Does the project involve the on-site treatment, storage, or disposal of hazardous waste? <u>MMD</u> , <u>Hazardous and Liquid Waste</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
23) Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (<u>Hazardous Waste Program Forms & License Applications</u>) <u>MMD</u> , <u>EGLE District Office</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

24) Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form? MMD, <u>Radioactive Material and Standards Unit</u> , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
25) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD <u>Radioactive Material and Standards Unit</u> , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
26) Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal? MMD, <u>Medical Waste Regulatory Program</u> , 517-284-6594	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Sector-Specific Permits May be Relevant to My Business?		
<u>Transporters</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
27) Does the project involve the <i>transport</i> of some other facility's non-hazardous liquid waste? MMD, <u>Transporter Program</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
28) Does the project involve the <i>transport</i> of hazardous waste? MMD, <u>Transporter Program</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
29) Do you engage in the business of transporting bulk water for drinking or household purposes (except for your own household use)? DWEHD, <u>Water Hauler Information</u> , 517-284-6527	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
30) Does the project involve <i>transport</i> of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground? DWEHD, <u>Septage Program</u> , 517-284-6535	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
31) Do you store, haul, shred or process <i>scrap tires</i> ? MMD, <u>Scrap Tire Program</u> , 517-284-6586	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<u>Sectors</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
32) Is the project a <i>dry cleaning</i> establishment utilizing perchloroethylene or a flammable solvent in the cleaning process? AQD, <u>Dry Cleaning Program</u> , 517-284-6780	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
33) Does your <i>laboratory</i> test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act? <u>Laboratory Services Certifications</u> , 517-284-5424	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
34) Does the project involve the operation of a <i>public swimming pool</i> ? DWEHD, <u>Public Swimming Pools Program</u> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
35) Does the project involve the operation of a <i>campground</i> ? Union Township and DWEHD, <u>Campgrounds</u> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Permits Do I Need to Add Chemicals to Lakes and Streams?		
36) Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc.) in a water body (i.e. lake, pond or river)? WRD, <u>Aquatic Nuisance Control</u> , 517-284-5593	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
37) Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? WRD, <u>Surface Water Assessment Section</u> , 517-331-5228	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

Why would I be subject to Oil, Gas and Mineral Permitting?	
38) Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)? OGMD, <u>Petroleum Geology and Production Unit</u> , 517-284-6826	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
39) Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline? OGMD, Minerals and Mapping Unit, <u>Sand Dune Mining Program</u> , 517-284-6826	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
40) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD, <u>Radioactive Protection Programs</u> , 517-284-6581	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
<u>Petroleum & Mining</u> , OGMD, 517-284-6826	
41) Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
42) Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
43) Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
44) Does the project involve mining coal?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
45) Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
46) Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>

Contact Union Township and EGLE Permits & Bonding, OGMD, 517-284-6841

SUMMERHILL VILLAGE

MOUNT PLEASANT, MI

PROPERTY OWNER
FOUR LEAF COMPANIES
600 W 22ND ST
OAK BROOKE, IL 46523
708-781-1030
MIKE CALLAGHAN MANAGING PARTNER
MCALLAGHAN@FOURLEAFPROP.COM

PROJECT INFORMATION: 202118
SUMMERHILL VILLAGE
5280 MISSION RD
MOUNT PLEASANT, MI 48858

REVISIONS:
06-09-2021

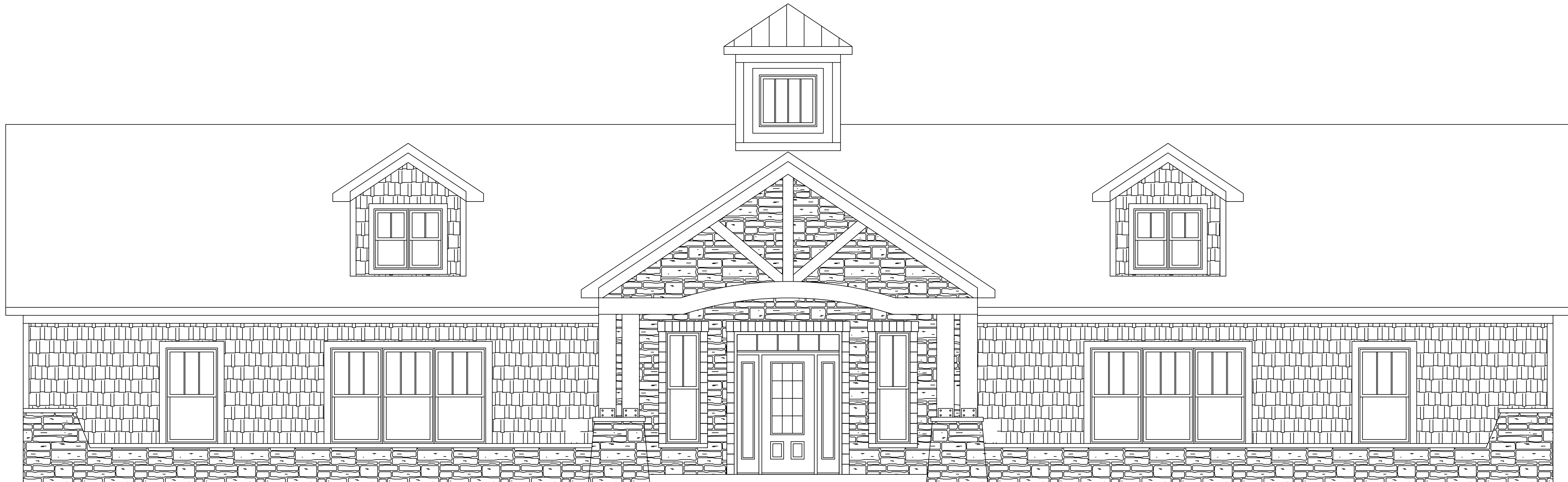
SCALE:
N.T.S.

SHEET TITLE:

TITLE SHEET

SHEET:

T1.0



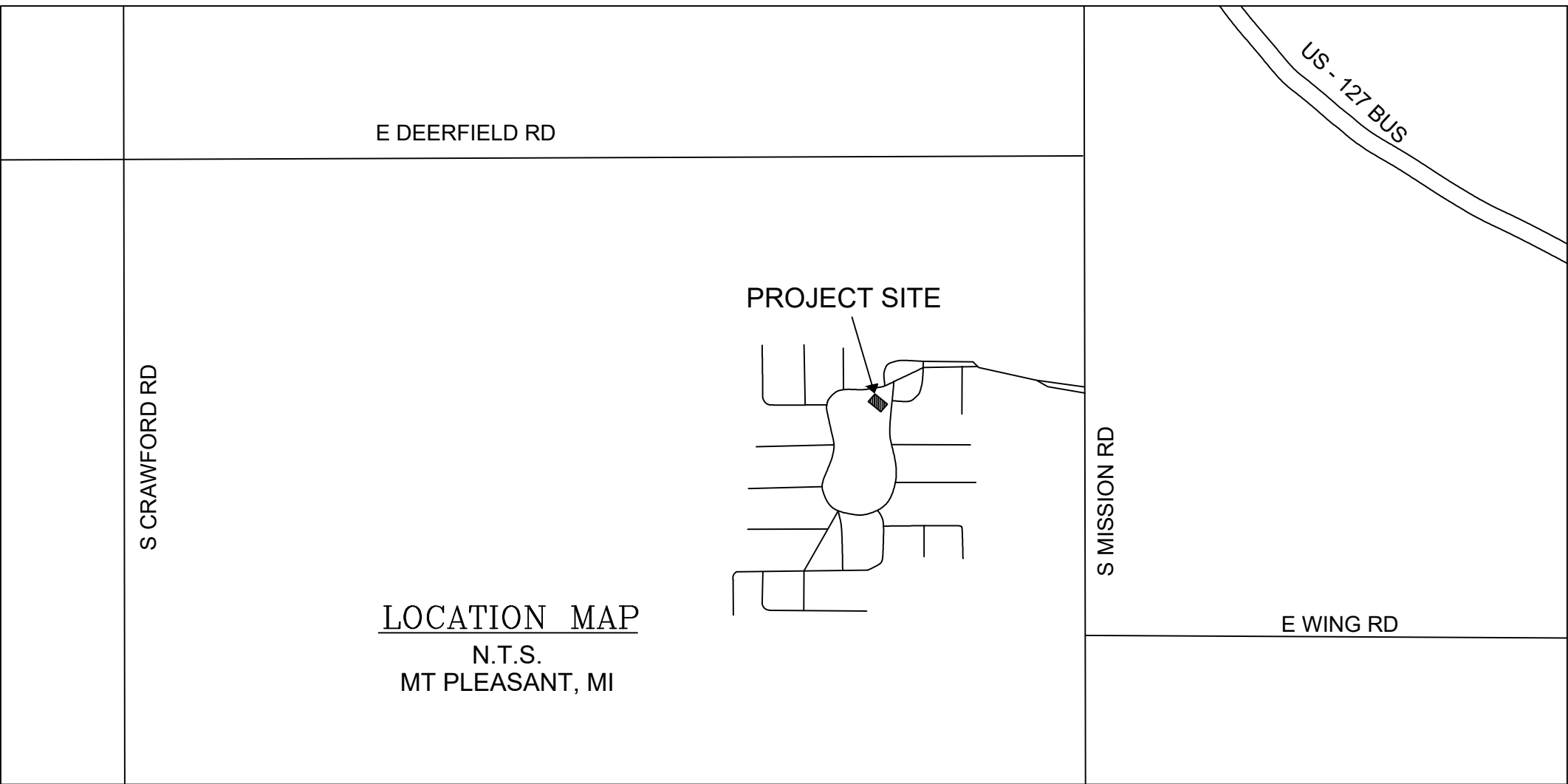
NOTE:
SQUARE FOOTAGE: 3,500
OCCUPANCY - A-3/B
CONSTRUCTION TYPE - VB
NOT SPRINKLED
FLOOR LIVE LOAD - 100 PSF
WIND 115mph EXPOSURE - B
SEISMIC DESIGN CATEGORY - B
GROUND SNOW LOAD - 30 PSF

GENERAL NOTES

1. THESE DOCUMENTS ARE PRODUCED AS PART OF A DESIGN/BUILD TEAM, AND ARE INTENDED TO COMMUNICATE DESIGN INTENT WHILE ALLOWING THE CONTRACTORS THE FREEDOM TO MAKE NECESSARY DECISION TO CONSTRUCT THE BUILDING WITHOUT AFFECTING ITS FUNCTIONAL AND/OR STRUCTURAL INTEGRITY
2. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND PROPER INSTALLATION OF WORK.
3. DRAWINGS ARE DIAGRAMMATIC AND DO NOT SHOW EVERY DETAIL, OFFSET OR CONNECTION THAT MAY BE REQUIRED. ALL CONTRACTORS ARE RESPONSIBLE FOR REVIEWING DRAWINGS AND SCOPE OF WORK REQUIRED TO ENSURE COMPLIANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES. ALL DISCREPANCIES, ALTERATIONS, AND ADDITIONS MUST BE RELAYED TO ARCHITECT/ENGINEER FOR REVIEW PRIOR TO AND DURING CONSTRUCTION. NONCOMPLIANCE WITH THE ABOVE WILL RELIEVE ARCHITECT/ENGINEER OF ANY AND ALL RESPONSIBILITY.
4. CONTRACTORS SHALL COORDINATE WITH UTILITY COMPANIES SERVING THE PROJECT AND COMPLY WITH ALL APPLICABLE REGULATIONS.
5. CAP, MARK, AND TAG ALL INTERRUPTED UTILITIES.

DRAWING INDEX

- T1.0 TITLE SHEET
- T2.0 ENERGY CODE REQUIREMENTS
- T3.0 LIFE SAFETY PLAN
- SITE PLAN - BY OTHERS
- S1.0 FOUNDATION PLAN / DETAILS
- A1.0 FLOOR PLAN
- A2.0 ELEVATIONS
- A2.1 ELEVATIONS / SECTIONS
- M1.0 MECHANICAL PLAN
- E1.0 ELECTRICAL PLAN
- P1.0 PLUMBING PLAN



ENERGY CODE REQUIREMENTS

BUILDING ENVELOPE

THESE REQUIREMENTS SHALL SUPPLEMENT INFORMATION CONTAINED WITHIN THESE DRAWINGS AND SHALL SUPERSEDE ANY CONFLICTING INFORMATION IN THE DRAWINGS.

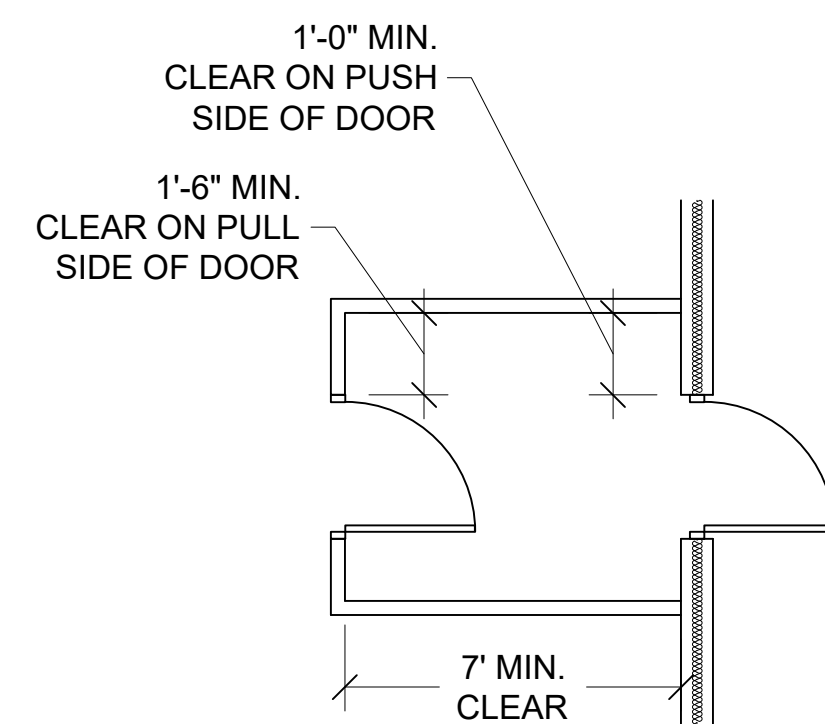
- E1. RECESSED LIGHTS, PIPES, DUCTS, AND OTHER EQUIPMENT SHALL NOT REDUCE THE INSULATION THICKNESS.
- E2. INSULATION SHALL NOT BE INSTALLED ON SUSPENDED CEILINGS.
- E3. ALL EXTERIOR INSULATION SHALL BE COVERED BY METAL OR OTHER PROTECTIVE MATERIAL.
- E4. RIGID INSULATION INSTALLED BELOW GRADE SHALL HAVE A MINIMUM DENSITY OF 2.2 POUNDS PER CUBIC FOOT AND SHALL HAVE A WATER ABSORPTION RATE NO GRATER THAN 0.3%.
- E5. ALL FENESTRATION PRODUCTS SHALL BE NFRC RATED AND SHALL BEAR LABELS FROM THE MANUFACTURER INDICATING THE U-FACTOR AND SHGC.
- E6. ALL DOORS SHALL BEAR LABELS FROM THE MANUFACTURER INDICATING THE U- OR R-FACTOR.
- E7. ALL DOORS, WINDOWS, AND SKYLIGHTS SHALL BE LABELED WITH AIR LEAKAGE DATA, NOT TO EXCEED 0.4 CFM/SQ FT, OR 1.0 CFM/SQ FT FOR GLAZED SWINGING ENTRANCE DOORS.
- E8. ALL FENESTRATION AND INSULATING COMPONENTS THAT ARE NOT LABELED BY THE MANUFACTURER SHALL BE SITE LABELED USING THE DEFAULT U- AND SHGC FACTORS (CONTACT PROJECT ENGINEER).
- E9. ALL BUILDINGS OVER 3000 SQUARE FEET SHALL HAVE AN ENCLOSED VESTIBULE AT ALL DOORS THAT ARE NOT PROVIDED EXCLUSIVELY FOR EMERGENCY EGRESS AND THAT ENTER INTO SPACES LARGER THAN 3000 SQUARE FEET. ALL INTERIOR AND EXTERIOR VESTIBULE DOORS SHALL BE EQUIPPED WITH SELF-CLOSING DEVICES AND SHALL BE LOCATED AT LEAST 7 FEET APART WHEN IN THE CLOSED POSITION.
- E10. ALL JOINTS AND PENETRATIONS OF THE THERMAL ENVELOPE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED, WRAPPED WITH A VAPOR-PERMEABLE AIR BARRIER, OR OTHERWISE SEALED.
- E11. ALL INSULATION SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS AND SHALL BE INSTALLED TIGHT AGAINST THE CONDITIONED SIDE OF THE ASSEMBLY.
- E12. INSULATION LOCATED NEAR EQUIPMENT OR ATTIC ACCESS AREAS SHALL BE PROVIDED WITH A DURABLE COVERING TO PROTECT IT FROM DAMAGE.

ENERGY CODE REQUIREMENTS

PLUMBING

THESE REQUIREMENTS SHALL SUPPLEMENT INFORMATION CONTAINED WITHIN THESE DRAWINGS AND SHALL SUPERSEDE ANY CONFLICTING INFORMATION IN THE DRAWINGS.

- P1. HOT WATER PIPING SHALL BE SIZED ACCORDING TO THE WATER HEATER MANUFACTURER'S GUIDELINES.
- P2. HEAT TRAPS SHALL BE PROVIDED ON THE INLET AND OUTLET OF HOT WATER STORAGE TANKS.
- P3. THE STORAGE TEMPERATURE OF THE HOT WATER SHALL BE ADJUSTABLE DOWN TO 120° F OR LOWER.
- P4. LAVATORY FAUCET OUTLET TEMPERATURES SHALL BE LIMITED TO 110° F.
- P5. CONTRACTOR SHALL DELIVER AS-BUILT DRAWINGS OR MARK-UPS, OWNER'S MANUALS, AND MAINTENANCE MANUALS TO THE BUILDING OWNER UPON COMPLETION OF WORK.



BOTH DOORS MUST BE EQUIPPED WITH CLOSERS

MINIMUM VESTIBULE REQUIREMENTS

SCALE: 1/4" = 1'-0"

ENERGY CODE REQUIREMENTS

LIGHTING SYSTEMS

THESE REQUIREMENTS SHALL SUPPLEMENT INFORMATION CONTAINED WITHIN THESE DRAWINGS AND SHALL SUPERSEDE ANY CONFLICTING INFORMATION IN THE DRAWINGS.

- L1. EXIT SIGNS SHALL BE 5 WATTS OR LESS PER LIGHTED FACE.
- L2. NO BALLAST IN ANY LINEAR TUBE FLUORESCENT FIXTURE SHALL CONTROL ONLY ONE LAMP.
- L3. FEEDER CONDUCTORS SHALL BE SIZED FOR A MAXIMUM VOLTAGE DROP OF 2%.
- L4. BRANCH CIRCUIT CONDUCTORS SHALL BE SIZED FOR A MAXIMUM VOLTAGE DROP OF 3%.
- L5. ALL EXTERIOR LIGHTING SHALL BE CONTROLLED BY A PHOTOSENSOR OR ASTRONOMICAL TIME SWITCH.
- L6. ALL EXTERIOR LIGHTING FIXTURES GREATER THAN 100 WATTS SHALL HAVE A MINIMUM EFFICACY OF 60 LUMEN/WATT.
- L7. LIGHTING IN EMPLOYEE BREAK OR LUNCH ROOMS, CONFERENCE AND MEETING ROOMS, AND ADULT CLASSROOMS SHALL HAVE OCCUPANT SENSORS.
- L8. LIGHTING FOR DISPLAYS, CASES, ACCENTS, AND DEMONSTRATIONS SHALL HAVE SEPARATE CONTROLS.
- L9. CONTRACTOR SHALL DELIVER AS-BUILT DRAWINGS OR MARK-UPS, OWNER'S MANUALS, AND MAINTENANCE MANUALS TO THE BUILDING OWNER UPON COMPLETION OF WORK.

ENERGY CODE REQUIREMENTS

MECHANICAL SYSTEMS

THESE REQUIREMENTS SHALL SUPPLEMENT INFORMATION CONTAINED WITHIN THESE DRAWINGS AND SHALL SUPERSEDE ANY CONFLICTING INFORMATION IN THE DRAWINGS.

- M1. FURNACES SHALL HAVE A MINIMUM EFFICIENCY OF 80%.
- M2. AIR CONDITIONERS SHALL HAVE A MINIMUM SEER OF 13.
- M3. HEATING AND COOLING SYSTEMS SHALL HAVE AUTOMATIC CONTROLS CAPABLE OF SETBACKS TO 55° F (HEAT) AND 85° F (COOL) WITH A 7-DAY CLOCK, 2-HOUR OCCUPANT OVERRIDE, AND 10-HOUR BACKUP, AND SHALL HAVE AUTOMATIC RESTART AND TEMPORARY OPERATION CAPABILITY FOR MAINTENANCE.
- M4. DUCT, PLENUM, AND PIPING INSULATION SHALL BE PROTECTED FROM WEATHER, MOISTURE, AND LIKELY DAMAGE. INSULATION FOR COOLING SYSTEMS SHALL BE VAPOR RETARDANT.
- M5. DUCTS IN UNCONDITIONED SPACES SHALL HAVE BOTH TRANSVERSE AND LONGITUDINAL SEAMS SEALED. PRESSURE-SENSITIVE TAPE, IF USED, SHALL COMPLY WITH UL-181A OR UL-181B.
- M6. SUPPLY AIR DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED TO AT LEAST R-6.
- M7. DUCTWORK OPERATING AT MORE THAN 3 IN W.C. SHALL BE TESTED FOR AIR LEAKAGE.
- M8. IF SEPARATE THERMOSTATS ARE USED FOR HEATING AND COOLING, OR IF MULTIPLE THERMOSTATS ARE LOCATED IN THE SAME SPACE, MEASURES SHALL BE TAKEN TO PREVENT SIMULTANEOUS HEATING AND COOLING.
- M9. THERMOSTATS WITH AUTOMATIC CHANGEOVER BETWEEN HEATING AND COOLING SHALL HAVE A MINIMUM 5° DEADBAND.
- M10. IF HUMIDIFICATION AND DEHUMIDIFICATION EQUIPMENT ARE BOTH PROVIDED, MEASURES SHALL BE TAKEN TO PREVENT THEIR SIMULTANEOUS USE.
- M11. CONTROL SYSTEMS SHALL BE TESTED AND CALIBRATED FOLLOWING INSTALLATION.
- M12. SYSTEMS OPERATING AT OVER 10,000 CFM SHALL HAVE OPTIMUM START CONTROLS.
- M13. VENTILATION FANS OVER 3/4 hp SHALL HAVE AUTOMATIC CONTROLS TO SHUT OFF FAN WHEN NOT REQUIRED.
- M14. CONTRACTOR SHALL DELIVER THE FOLLOWING DOCUMENTS TO THE OWNER WITHIN 90 DAYS OF COMPLETION OF WORK:
 - AS-BUILT DRAWINGS OR MARK-UPS OF THE ACTUAL INSTALLATION
 - PERFORMANCE DATA, OWNERS MANUALS, AND MAINTENANCE MANUALS FOR ALL INSTALLED HVAC EQUIPMENT
 - WRITTEN BALANCING REPORT FOR ALL HVAC SYSTEMS

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FOUR LEAF COMPANIES
600 W 22ND ST
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708-781-1030
MIKE CALLAGHAN MANAGING PARTER
MCALLAGHAN@FOURLEAFPROP.COM

PROJECT INFORMATION: 2021118
SUMMERHILL VILLAGE
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REVISIONS:

06-09-2021

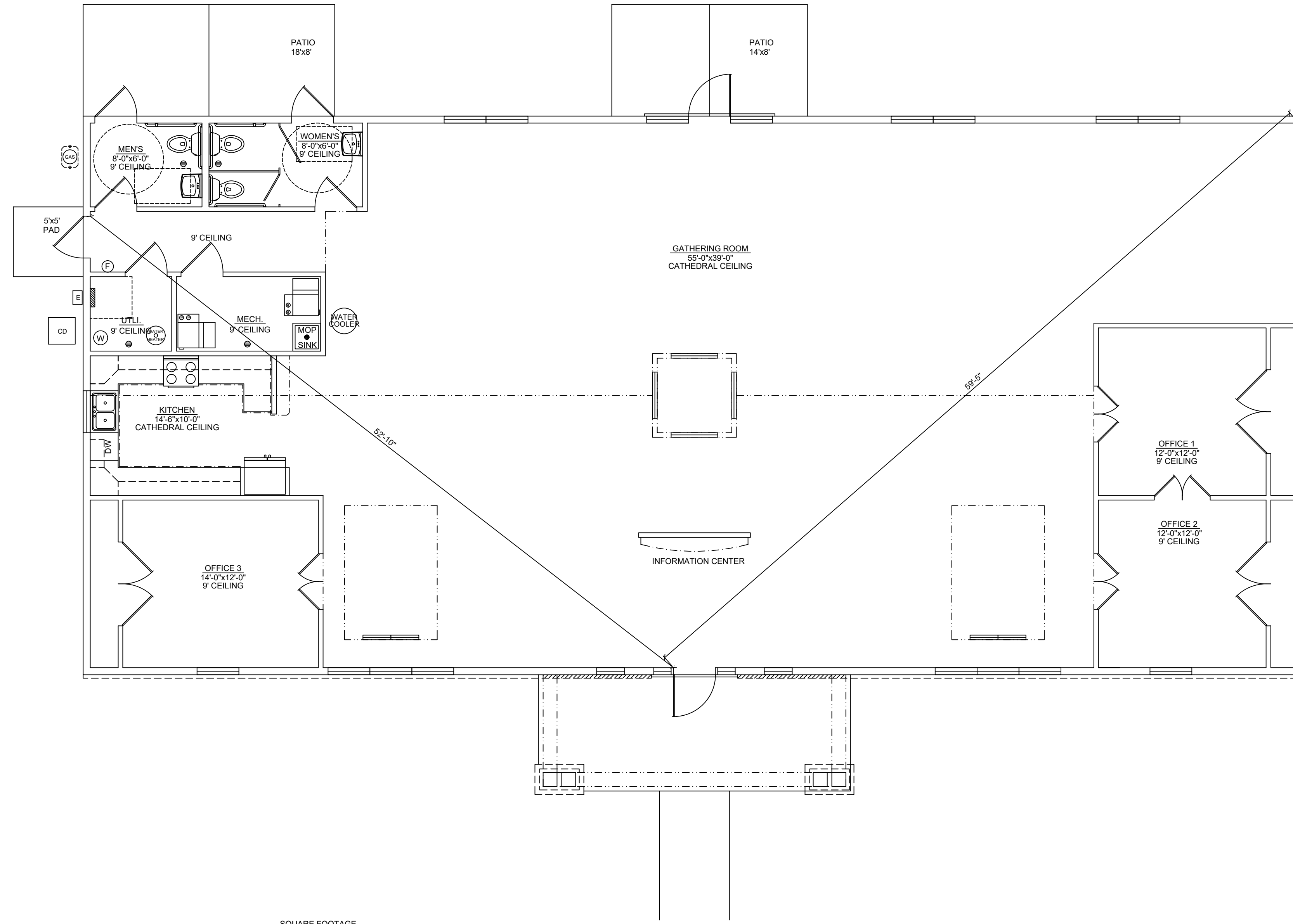
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SHEET TITLE:

ENERGY CODE
REQUIREMENTS

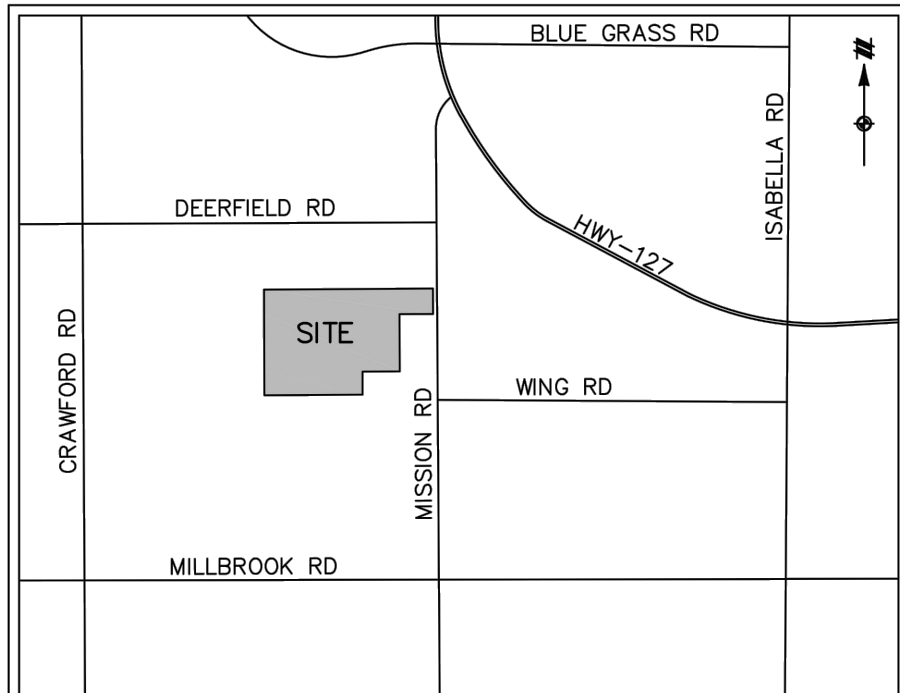
SHEET:

T2.0



SQUARE FOOTAGE
3,500 SQ.FT.

FIRE & LIFE SAFETY DATA: NON SPRINKLED BUILDING
OCCUPANT LOAD:
OFFICE TOTAL USE 360 SQ.FT. / 100 SQ.FT. PER OCCUPANT = 3 OCCUPANTS
GATHERING ROOM 2,600 SQ.FT. / 15 SQ.FT. PER OCCUPANT = 173 OCCUPANTS
TOTAL OCCUPANTS = 176
EGRESS EXITS PROVIDED:
(2) 36"x84" SINGLE DOOR
EGRESS SEPARATION REQUIRED: 1/2 x DIAGONAL = 1/2 x 59'-5" = 29'-8 1/2"
EGRESS SEPARATION PROVIDED: 52'-10"
RECESS CABINETS FIRE EXTINGUISHER (1) 10# ABC



VICINITY MAP
NOT TO SCALE

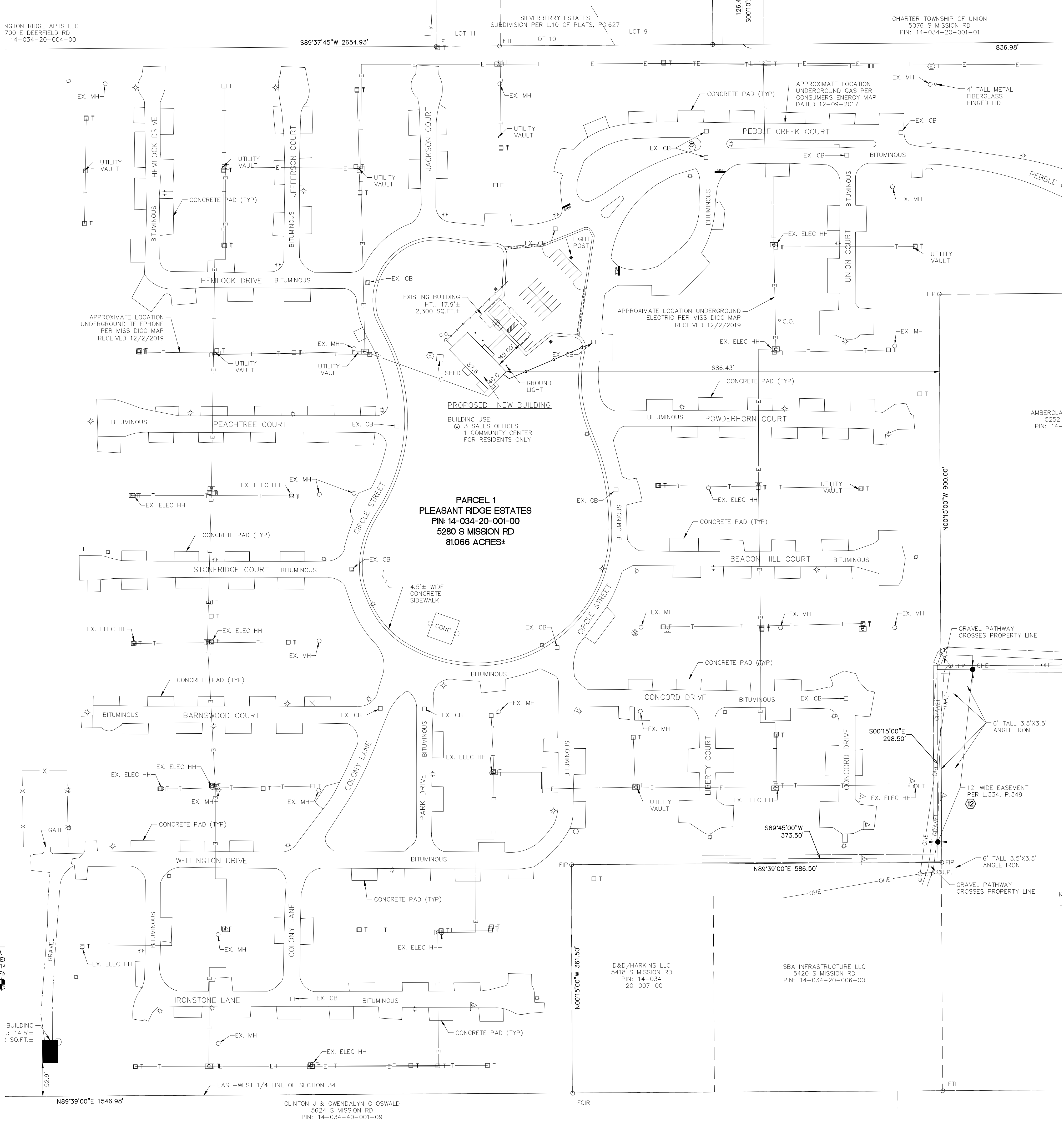
LEGEND

⊙	SECTION CORNER
⊙	FOUND MONUMENT
⊙	FOUND IRON PIPE
⊙	FOUND CAPPED IRON ROD
⊙	FOUND T-IRON
⊙	FOUND IRON ROD
⊙	SET CAPPED IRON ROD
⊙	EXISTING TELEPHONE RISER
⊙	EXISTING LIGHTPOLE
⊙	EXISTING UTILITY POLE
⊙	EXISTING WATER BOX
⊙	EXISTING FIRE HYDRANT WITH SHUT OFF
⊙	EXISTING MANHOLE/CATCH BASIN
⊙	EXISTING ELECTRIC TRANSFORMER
⊙	EXISTING CULVERT
⊙	EXISTING ELECTRIC RISER
⊙	EXISTING SANITARY CLEAN OUT
⊙	EXISTING ELECTRIC METER
⊙	EXISTING AIR CONDITIONING UNIT
⊙	EXISTING SIGN
⊙	EXISTING GUY ANCHOR
⊙	EXISTING MAILBOX
⊙	EXISTING GROUND LIGHT
⊙	EXISTING WELL
⊙	EXISTING GAS METER
⊙	EXISTING FLAG POLE
⊙	UNDERGROUND ELECTRIC MARKER
⊙	UNDERGROUND TELEPHONE MARKER
⊙	UNDERGROUND GAS MARKER
P.O.C.	POINT OF COMMENCEMENT
P.O.B.	PLACE OF BEGINNING
---	BOUNDARY LINE
---	BOUNDARY ADJACENT LINE
---	EASEMENT LINE
---	SECTION LINE
---	OVERHEAD UTILITY LINE
---	APPROXIMATE UNDERGROUND ELECTRIC LINE
---	APPROXIMATE UNDERGROUND TELEPHONE LINE
---	APPROXIMATE UNDERGROUND GAS LINE
---	APPROXIMATE UNDERGROUND STORM LINE
---	APPROXIMATE UNDERGROUND SANITARY LINE
---	APPROXIMATE UNDERGROUND WATER LINE
---	EXISTING FENCE
---	SCHEDULE B PART II EXCEPTION
---	EXISTING BUILDING

- NOTES:**
- BEARINGS ARE BASED ON THE EAST LINE OF SECTION 34, BEING S00°15'00"E, PER TITLE COMMITMENT REFERENCED HEREON.
 - THE SITE SHOWN HEREON IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) ACCORDING TO MAP NUMBERS 26073C0309D & 26073C0325D OF THE FLOOD INSURANCE RATE MAP, EFFECTIVE DATE FEBRUARY 5, 2014.
 - WATER MAIN, STORM SEWER, SANITARY SEWER AND FRANCHISE UTILITY STRUCTURES HAVE BEEN FIELD LOCATED WHERE VISIBLE. UTILITY AND AS-BUILT MAPS HAVE BEEN REQUESTED AND SOME MAPS HAVE BEEN RECEIVED AT DATE OF THIS SURVEY. FRANCHISE UTILITY MAPS HAVE BEEN REQUESTED FROM THE APPROPRIATE FRANCHISE COMPANIES, BUT NOT ALL MAPS HAVE BEEN RECEIVED AT DATE OF SURVEY.

NOTE: THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED.

NOTE TO THE CLIENT, INSURER, AND LENDER - SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.21V TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.
 - ZONING LETTER OR REPORT NOT PROVIDED AT THE DATE OF THE SURVEY.
 - EXISTING CLUBHOUSE AREA HAS 7 TRADITIONAL PARKING STALLS AND 2 HANDICAPPED ACCESSIBLE STALLS. FOR EVERY TWO HOME PAD SITES, THERE APPEARS TO BE APPROXIMATELY 4 AVAILABLE PARKING SPACES.
 - ALL INTERIOR ROADS ON SUBJECT PROPERTY APPEAR TO BE PRIVATE ROADS.
 - NO PARTY WALLS WERE DESIGNATED BY THE CLIENT OR OBSERVED AT THE DATE OF THE FIELD WORK.
 - DATE OF AERIAL IMAGE ON SHEET 3 IS 09/21/2015.



SCHEDULE A DESCRIPTION PER ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, ISSUING AGENT: MT. PLEASANT ABSTRACT & TITLE, COMMITMENT NUMBER: 469063, COMMITMENT DATE: NOVEMBER 08, 2019:

THE LAND IS DESCRIBED AS FOLLOWS:

PARCEL 1: PART OF THE NORTHEAST 1/4 OF SECTION 34, T14N, R4W, DESCRIBED AS COMMENCING SOUTH 0°15' EAST, 995.50 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 34; THENCE SOUTH 89°37'45" WEST, 2654.93 FEET TO THE NORTH-SOUTH 1/4 LINE; THENCE SOUTH 0°12'25" EAST, 1658.30 FEET ALONG SAID 1/4 LINE TO THE CENTER OF SECTION 34; THENCE NORTH 89°39' EAST, 1546.98 FEET ALONG THE 1/4 LINE; THENCE NORTH 0°15' WEST, 361.5 FEET; THENCE NORTH 89°39' EAST, 586.5 FEET; THENCE NORTH 0°15' WEST, 900 FEET; THENCE NORTH 89°39' EAST, 528 FEET TO THE EAST SECTION LINE; THENCE NORTH 0°15' WEST, 397.74 FEET TO THE POINT OF BEGINNING, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.

PARCEL 2: AN EASEMENT FOR FUTURE ROADWAY 66 FEET WIDE DESCRIBED AS 33 FEET EACH SIDE OF A LINE DESCRIBED AS COMMENCING SOUTH 89°37' WEST, 705.67 FEET FROM THE NORTHEAST CORNER OF SECTION 34, T14N, R4W, THENCE SOUTH 0°10'28" EAST, 196.44 FEET; THENCE ALONG A CURVE TO THE RIGHT OF RADIUS 900 FEET AND CHORD OF SOUTH 10°07'33" WEST, 321.85 FEET; THENCE SOUTH 20°25'34" WEST, 42.35 FEET; THENCE ALONG A CURVE TO THE LEFT OF RADIUS 900 FEET AND CHORD OF SOUTH 10°07'33" WEST, 321.85 FEET; THENCE SOUTH 0°10'28" EAST, 126.44 FEET ENDING AT A POINT SOUTH 0°15' EAST, 995.55 FEET AND SOUTH 89°37'45" WEST 836.98 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 34, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.

SCHEDULE B, PART II EXCEPTIONS PER ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, ISSUING AGENT: MT. PLEASANT ABSTRACT & TITLE, COMMITMENT NUMBER: 469063, COMMITMENT DATE: NOVEMBER 08, 2019:

- EASEMENT IN FAVOR OF CONSUMERS POWER COMPANY FOR THE PURPOSE OF TRANSMITTING ELECTRICITY AND/OR CONDUCTING A COMMUNICATIONS BUSINESS OVER AND ACROSS CAPTIONED LAND DATED APRIL 30, 1970 AND RECORDED IN LIBER 347, PAGE 185. RESPONSE: COVERS SUBJECT PROPERTY AND LAND TO NORTH, APPEARS TO BE A BLANKET EASEMENT.
- EASEMENT 12 FEET WIDE DESCRIBED AS 6 FEET ON EACH SIDE OF A LINE DESCRIBED AS COMMENCING AT A POINT 50 FEET WEST AND 666 FEET NORTH OF THE EAST 1/4 CORNER OF SECTION 34, T14N, R4W, THENCE WEST 484 FEET, SOUTH 298.50 FEET, WEST 373.50 FEET TO A POINT 907.5 FEET WEST AND 367.5 FEET NORTH OF SAID 1/4 CORNER AS GRANTED IN WARRANTY DEED TO ADJACENT PROPERTY OWNER RECORDED MARCH 31, 1969 IN LIBER 334, PAGE 349. RESPONSE: COVERS LAND ADJACENT TO SUBJECT PROPERTY, EASEMENT AS SHOWN HEREON.
- EASEMENT ALONG THE EASTERN BOUNDARY LINE IN FAVOR OF ISABELLA COUNTY DRAIN COMMISSION FOR THE PURPOSE OF CONSTRUCTING AND MAINTAINING A DRAIN DATED NOVEMBER 14, 1990 AND RECORDED IN LIBER 738, PAGE 401. RESPONSE: COVERS SUBJECT PROPERTY, APPROXIMATE LOCATION OF EASEMENTS AS SHOWN HEREON.
- EASEMENT OR RIGHT OF WAY FOR ACCESS TO PROPERTY OVER PART OF CAPTIONED LAND DATED JUNE 22, 2005 AND RECORDED JULY 1, 2005 IN LIBER 1300, PAGE 342, WHICH IS SUBJECT TO A MEMORANDUM OF ASSIGNMENT RECORDED OCTOBER 9, 2012 IN LIBER 1607 PAGE 768. RESPONSE: L.1300, PG.342 EXHIBIT A COVERS SUBJECT PROPERTY, PORTIONS OF EXHIBIT B DESCRIPTIONS ARE ILLEGIBLE, POSSIBLE LOCATION AS SHOWN HEREON. L.1607, PG.768 EXHIBIT A COVERS LAND ADJACENT TO SUBJECT PROPERTY, SCHEDULE B-1 REFERENCES L.1300, PG.342-346 AND L.1308, PG.404-12, SCHEDULE B-2 EASEMENT 1 COVERS SUBJECT PROPERTY, EASEMENT 2 COVERS LAND ADJACENT TO SUBJECT PROPERTY, BENEFITED PARCEL COVERS LAND ADJACENT TO SUBJECT PROPERTY.
- EASEMENT FOR HIGHWAY PURPOSED ALONG US ROUTE 27 AS SET FORTH IN A RELEASE OF RIGHT OF WAY IN FAVOR OF STATE HIGHWAY COMMISSION, DATED JULY 1, 1929 AND RECORDED IN LIBER 151, PAGE 394. RESPONSE: AS SHOWN HEREON.
- EASEMENT GRANTED TO CONSUMERS ENERGY COMPANY OVER PART OF CAPTIONED LAND DATED DECEMBER 14, 2006 AND RECORDED FEBRUARY 12, 2007 IN LIBER 1383, PAGE 73. RESPONSE: COVERS SUBJECT PROPERTY, EASEMENT AS SHOWN HEREON.
- MATTERS AS DISCLOSED BY SURVEY PREPARED BY SOUTHERN MICHIGAN LAND SURVEYING DATED JULY 2, 2009 AS JOB NUMBER 9:031 DEPICTING THE FOLLOWING:
A) ENCROACHMENT OF THE FENCE ONTO THE WEST LINE OF THE LAND.
B) RIGHTS OF THE PUBLIC IN AND TO THAT PART OF THE LAND LOCATED WITHIN THE DRIVEWAY ALONG MISSION ROAD.
RESPONSE: COVERS SUBJECT PROPERTY.
- RIGHTS OF THE PUBLIC UTILITIES OR EQUAL PUBLIC UTILITIES AS DISCLOSED BY SURVEY PREPARED BY SOUTHERN MICHIGAN LAND SURVEYING DATED JULY 2, 2009 AS JOB NUMBER 09.031 DEPICTING THE FOLLOWING: POWER POLES, TELEPHONE RISER, SANITARY MANHOLES, STORMS CATCH BASINS, STORM MANHOLES, WATER VALVES AND LINES.
RESPONSE: ATWELL HAS FIELD LOCATED AND DEPICTED ON THIS SURVEY ALL OBSERVED POWER POLES, TELEPHONE RISERS, SANITARY MANHOLES, STORM CATCH BASINS, STORM MANHOLES AND WATER STRUCTURES ON THE SUBJECT PROPERTY.
- EASEMENT OVER PART OF CAPTIONED LAND AS DISCLOSED IN A DOCUMENT DATED DECEMBER 1, 2009 AND RECORDED APRIL 19, 2010 IN LIBER 1514, PAGE 755. RESPONSE: COVERS SUBJECT PROPERTY, NO REFERENCED EASEMENT LOCATION DRAWING ATTACHED TO DOCUMENT. EASEMENT IS TO BE LOCATED 5 FEET ON EITHER SIDE OF SYSTEM AS ACTUALLY BUILT.

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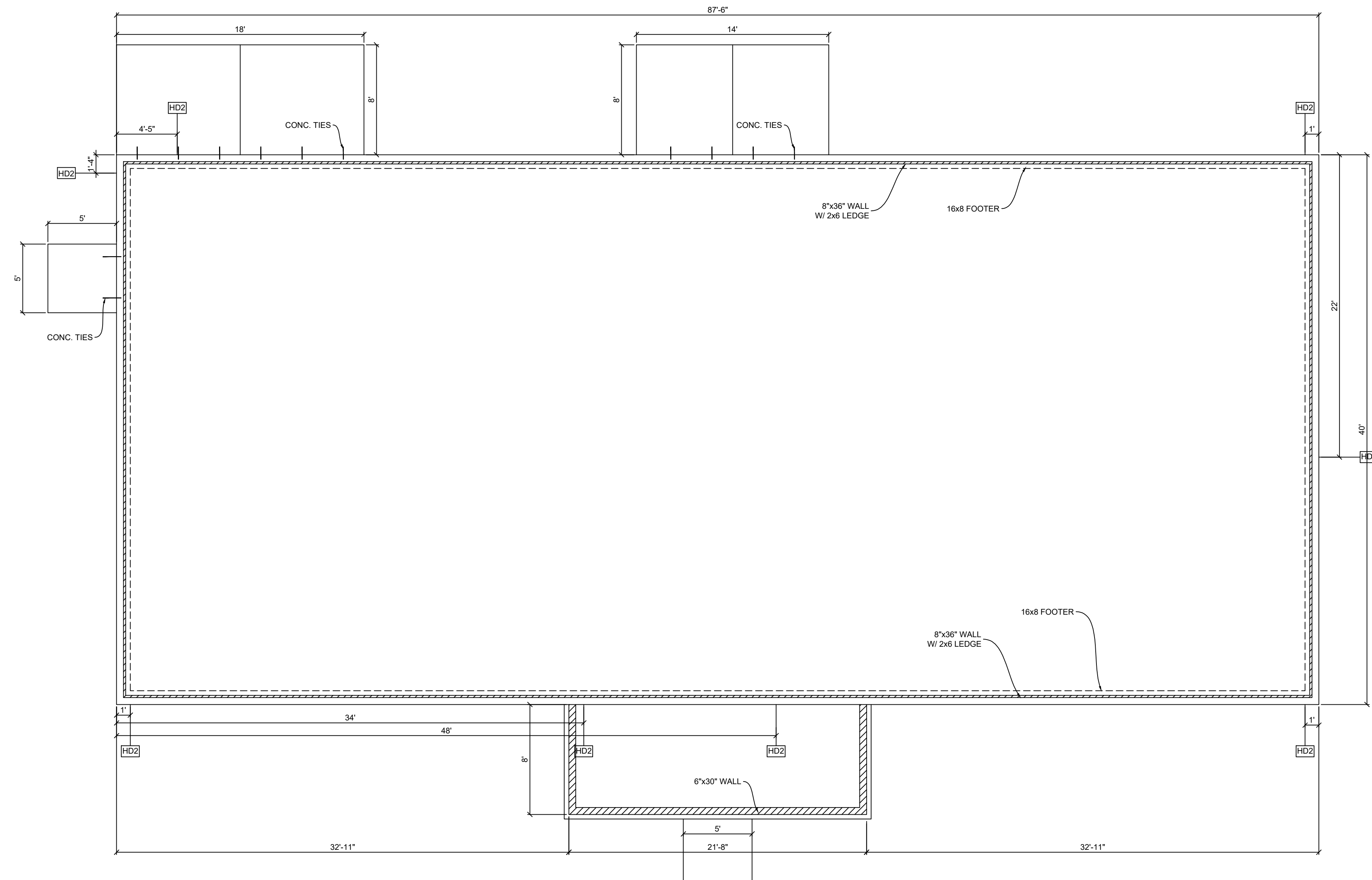
PROJECT INFORMATION: 202118
SUMMERHILL VILLAGE
5280 MISSION RD
MOUNT PLEASANT, MI 48858

REVISIONS:
06-09-2021

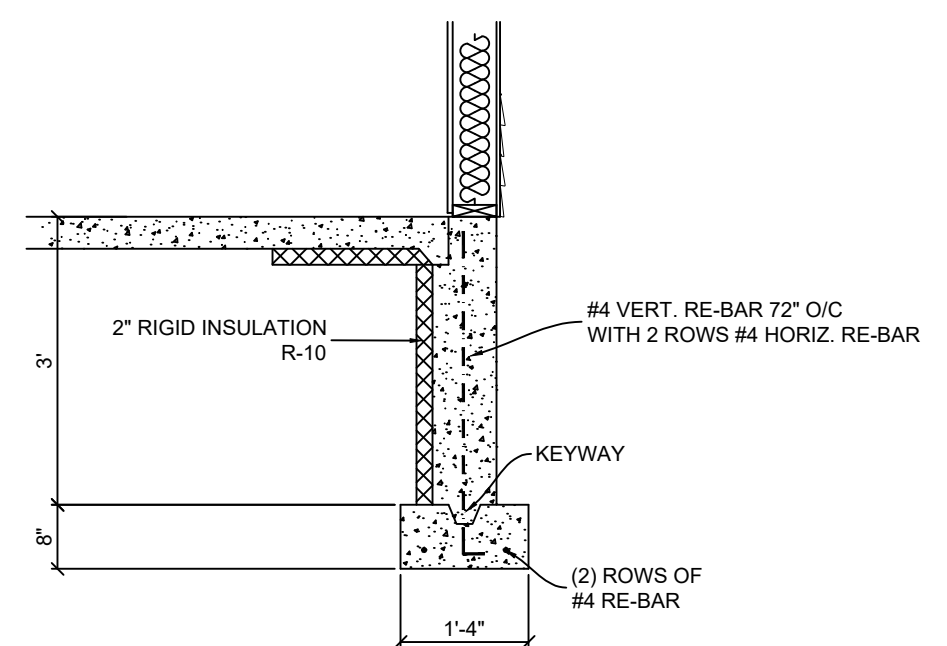
SCALE:
1" = 80'

SHEET TITLE:
SITE PLAN

SHEET:
C1.0



- FOUNDATION NOTES:**
1. ALL CONCRETE WALLS ARE TO BE 8'x36" WITH (2) #4 HORIZONTAL REBAR IN WALL #4 VERTICAL REBAR 72" O.C.
 2. 5/8"x7" MIN. ANCHOR BOLTS ARE TO BE PLACED AT 48" O.C. AND 12" FROM EACH SPLICE.
 3. CONCRETE WALL FOOTERS ARE 16"x8" WITH (2) ROWS OF #4 REBAR.
 4. 2" RIGID INSULATION IS TO BE PLACED ON THE INSIDE OF THE FOUNDATION WALL.
 5. SEE FLOOR PLAN FOR HOLD-DOWN LOCATIONS (CAPACITY = 3924 LBS).

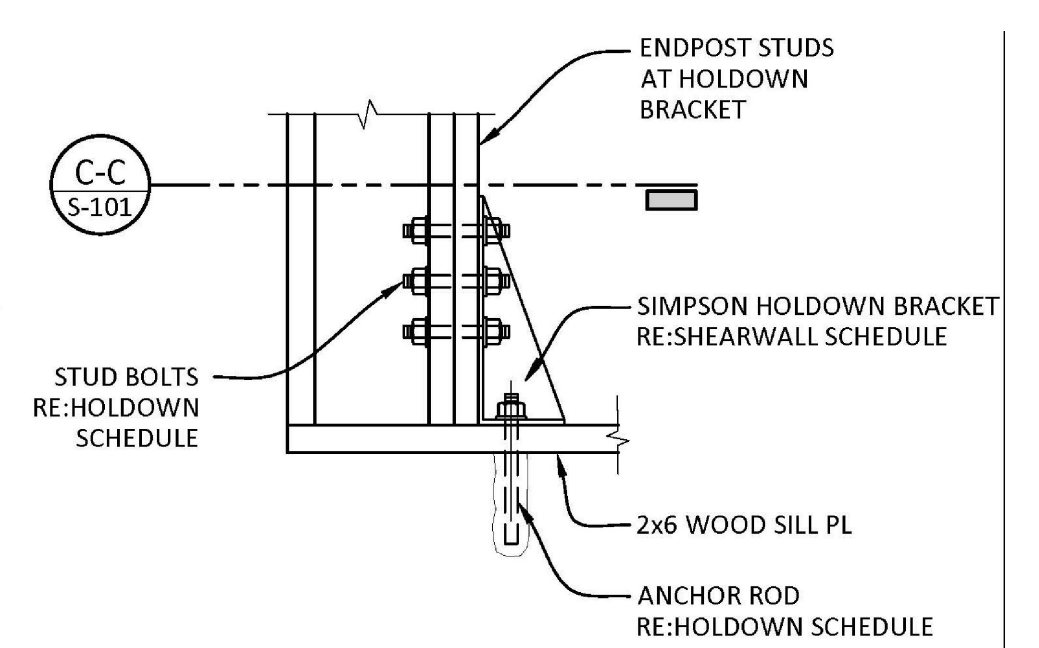


TYP. FOUNDATION DETAIL
SCALE: 1/2"=1'-0"

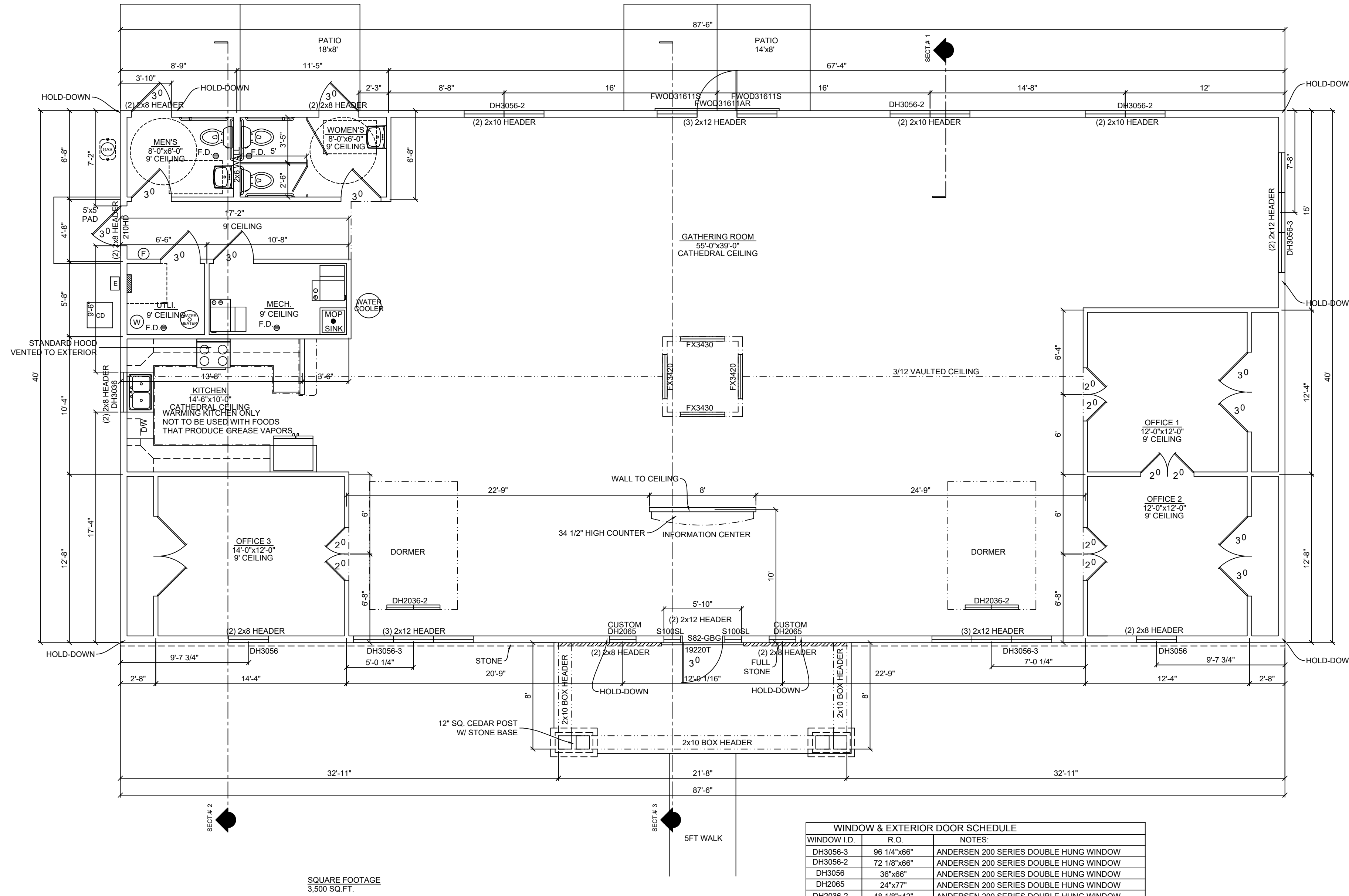
HOLD-DOWN SCHEDULE					
MK	TYPE	CAPACITY	ANCHOR RODS	STUD BOLTS	REMARKS
HD2	HD7B	5,650 LBS SEE REMARKS	(3/4" DIA) 24" EMBEDMENT	(2) 5/8" DIA	3" MIN WOOD END POST THICKNESS

HOLD-DOWN NOTES:

1. ALL UPLIFT FORCES ARE ALLOWABLE STRESS DESIGN COMBINATIONS
2. ALL HOLD DOWN TYPES AND CAPACITIES ARE MANUFACTURED BY SIMPSON STRONG TIE
3. ALL ANCHOR RODS SHALL BE THREADED AND GALVANIZED F1554 GRADE 36 STEEL
4. ALL ANCHOR RODS SHALL BE DRILLED AND EPOXIED WITH HILTI-HIT-HY 200 SAFE SET ADHESIVE ANCHOR
5. ANCHOR RODS SHALL BE THROUGH THE WOOD SILL, CMU GRADE BLOCK AND INTO THE POURED CONCRETE FOOTINGS



HD2 SILL PLATE HOLDOWN 2



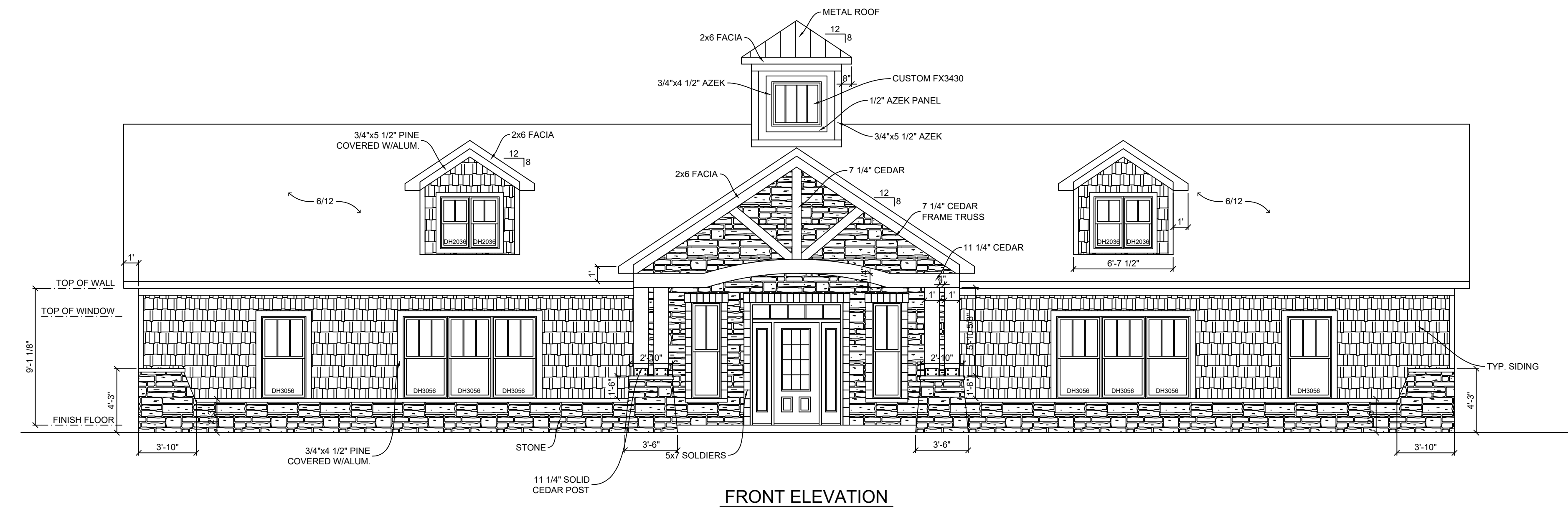
SQUARE FOOTAGE
3,300 SQ.FT.

NOTE:
1. ALL WINDOW HEADERS ARE TO BE SET AT 86 3/4" HIGH UNLESS OTHERWISE NOTED
2. ALL 9' CEILINGS ARE TO BE HAND FRAMED DOWN FROM SCISSOR TRUSSES
3. FLOORING IS TO BE VINYL PLANK FLOORING
4. ALL WALLS AND CEILINGS ARE TO HAVE 5/8" DRYWALL.

FRAMING NOTES:
1. ALL FRAMING MATERIAL IS TO BE SOUTHERN YELLOW PINE (SYP) #2 OR BETTER. UNLESS OTHERWISE NOTED.
2. ALL BOTTOM PLATES ARE TO BE TREATED
3. EXTERIOR WALLS ARE TO BE 2x6 WALLS 16" O.C. WITH 7/16" O.S.B. SHEETING
4. TRUSSES ARE TO BE DESIGNED BY TRUSS MANUFACTURE WITH SYP.
5. PROVIDE MANUFACTURED HOLD-DOWN LOCATIONS SHOWN WITH A RATED CAPACITY OF 3924 LBS

WINDOW & EXTERIOR DOOR SCHEDULE		
WINDOW I.D.	R.O.	NOTES:
DH3056-3	96 1/4"x66"	ANDERSEN 200 SERIES DOUBLE HUNG WINDOW
DH3056-2	72 1/8"x66"	ANDERSEN 200 SERIES DOUBLE HUNG WINDOW
DH3056	36"x66"	ANDERSEN 200 SERIES DOUBLE HUNG WINDOW
DH2065	24"x77"	ANDERSEN 200 SERIES DOUBLE HUNG WINDOW
DH2036-2	48 1/8"x42"	ANDERSEN 200 SERIES DOUBLE HUNG WINDOW
FX3420	40"x24"	ANDERSEN 200 SERIES FIXED WINDOW
FX3430	40"x38"	ANDERSEN 200 SERIES FIXED WINDOW
DOOR I.D.		
R.O.		
NOTES:		
(2) S100SL S82-CBG 192201	(RH) 68 3/8"x97 1/8"	THERMA-TRU SMOOTH-STAR DOOR W/ SIDE-LITES AND TRANSOM
210HD	(RH) 38 1/2"x82 1/2"	THERMA-TRU STEEL DOOR
FW0031611S FW0031611AR FW0031611S	108 5/8"x83"	ANDERSEN A-SERIES OUTSWING DOOR

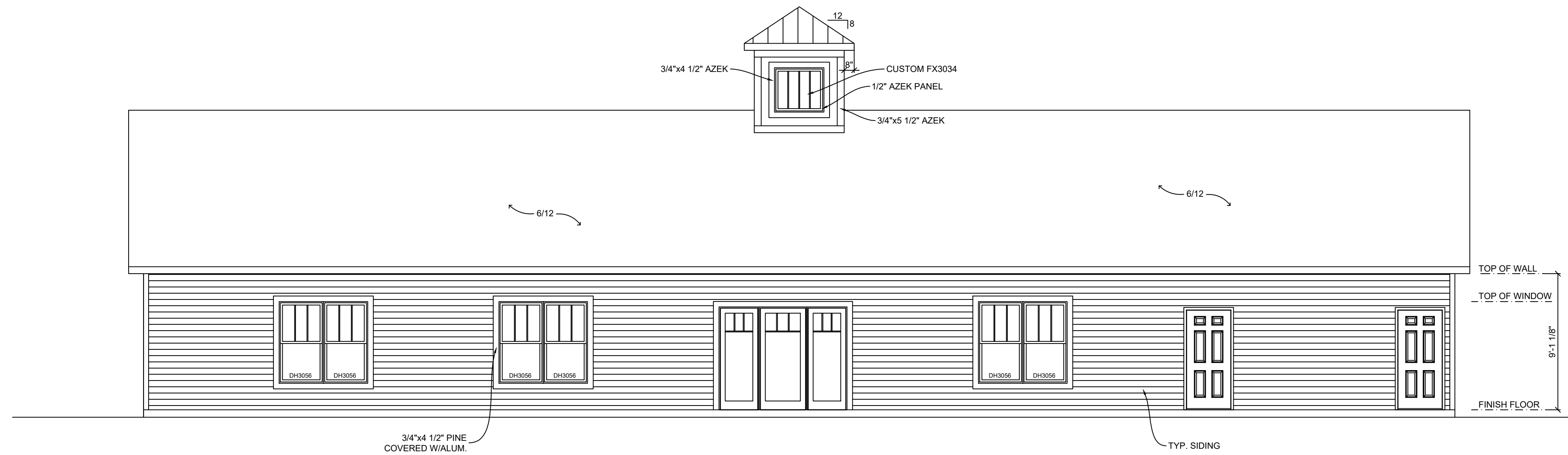
Ⓡ RECESS CABINETS FIRE EXTINGUISHER (2) 10# ABC



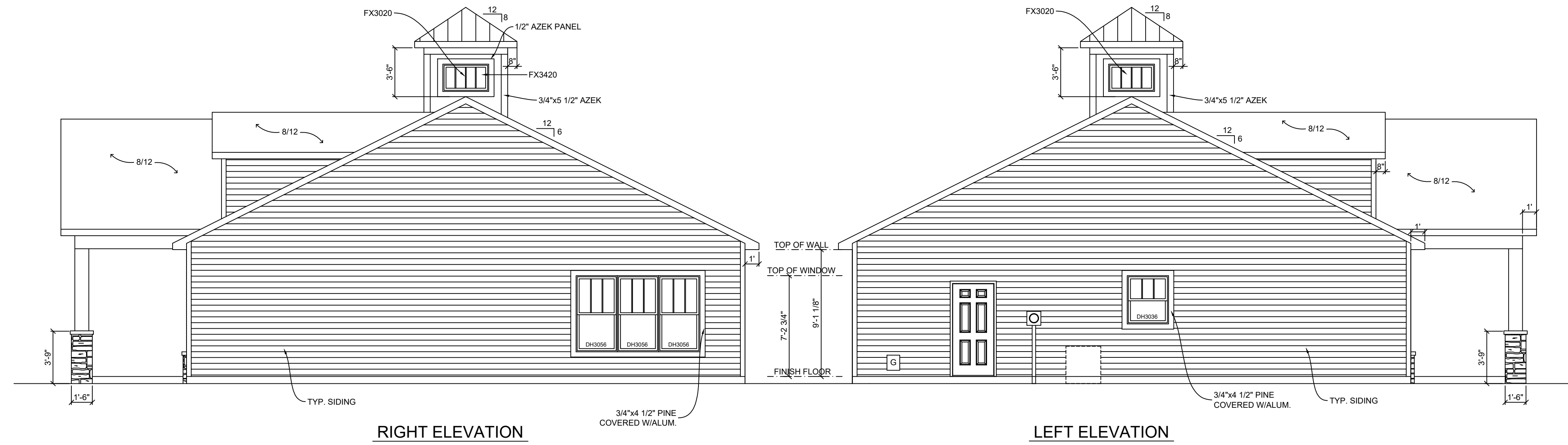
FRONT ELEVATION

HEEL HEIGHT CHART
6/12 = 11 1/2"
8/12 = 13 1/2"

NOTE:
ICE AND WATER SHIELD MUST BE
PLACED ON EAVES 2FT. IN FROM INSIDE
OF EXTERIOR WALLS PLUS OVERHANG

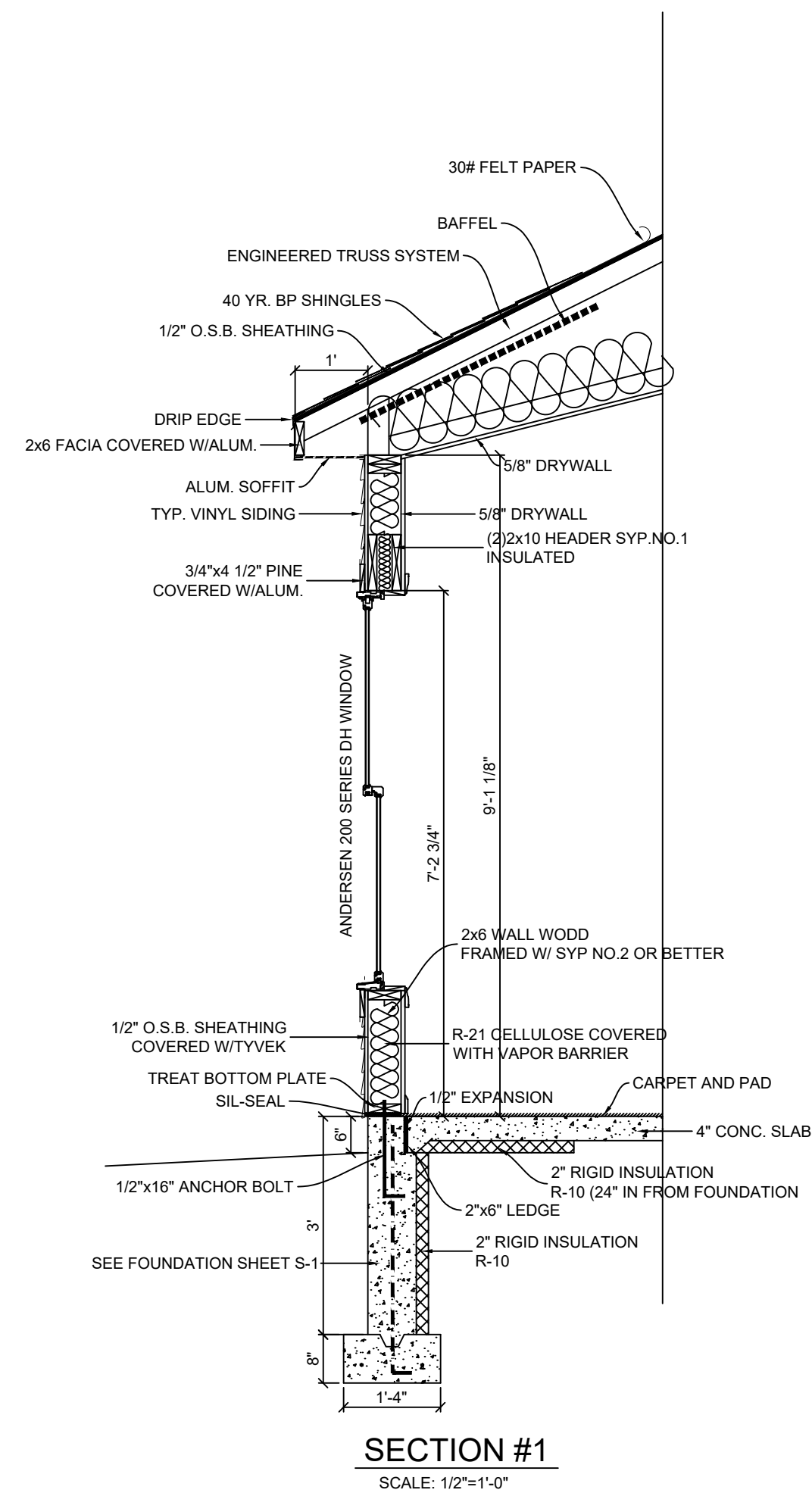


REAR ELEVATION

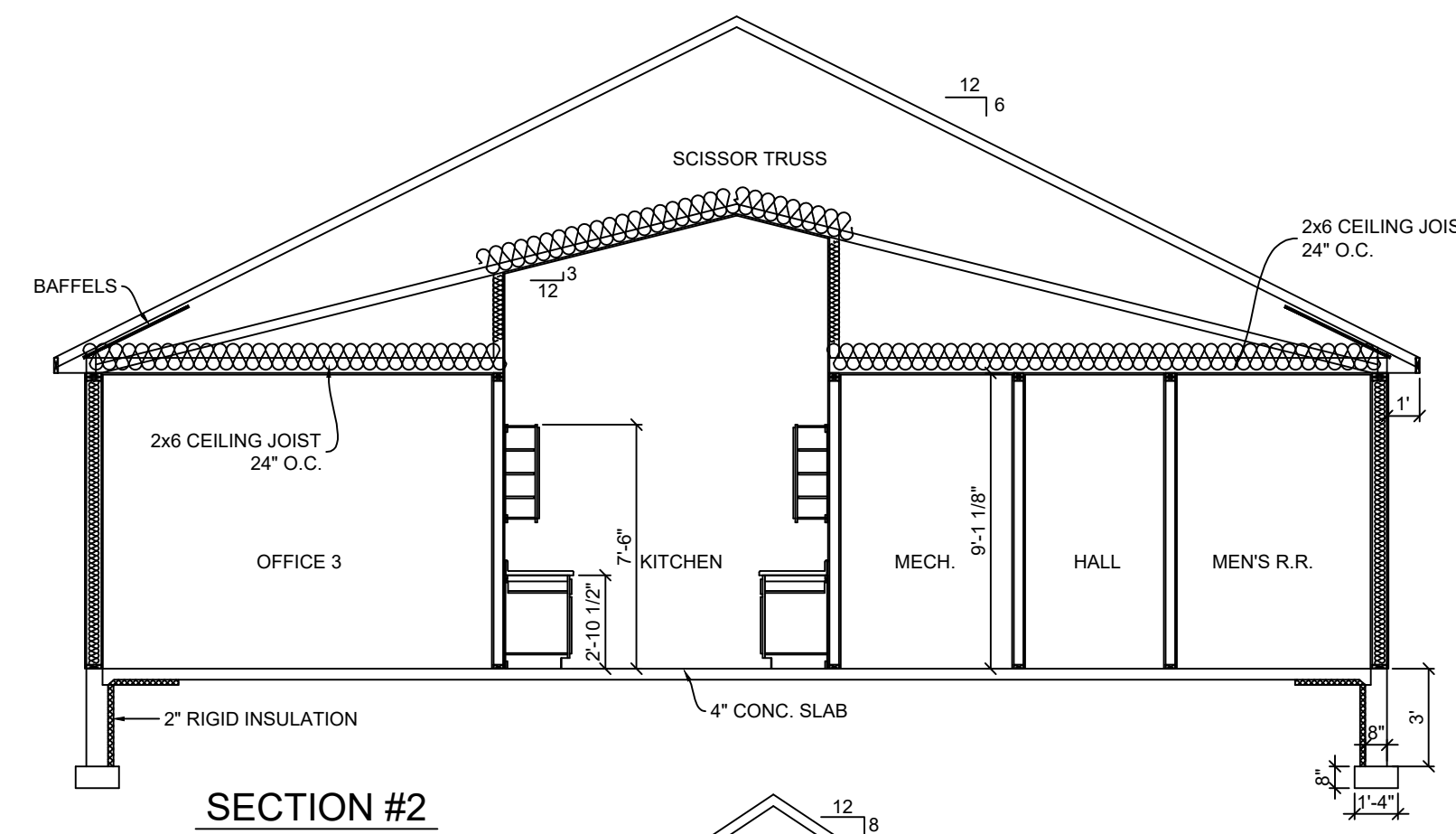


NOTE:
ICE AND WATER SHIELD MUST BE
PLACED ON EAVES 2FT. IN FROM INSIDE
OF EXTERIOR WALLS PLUS OVERHANG

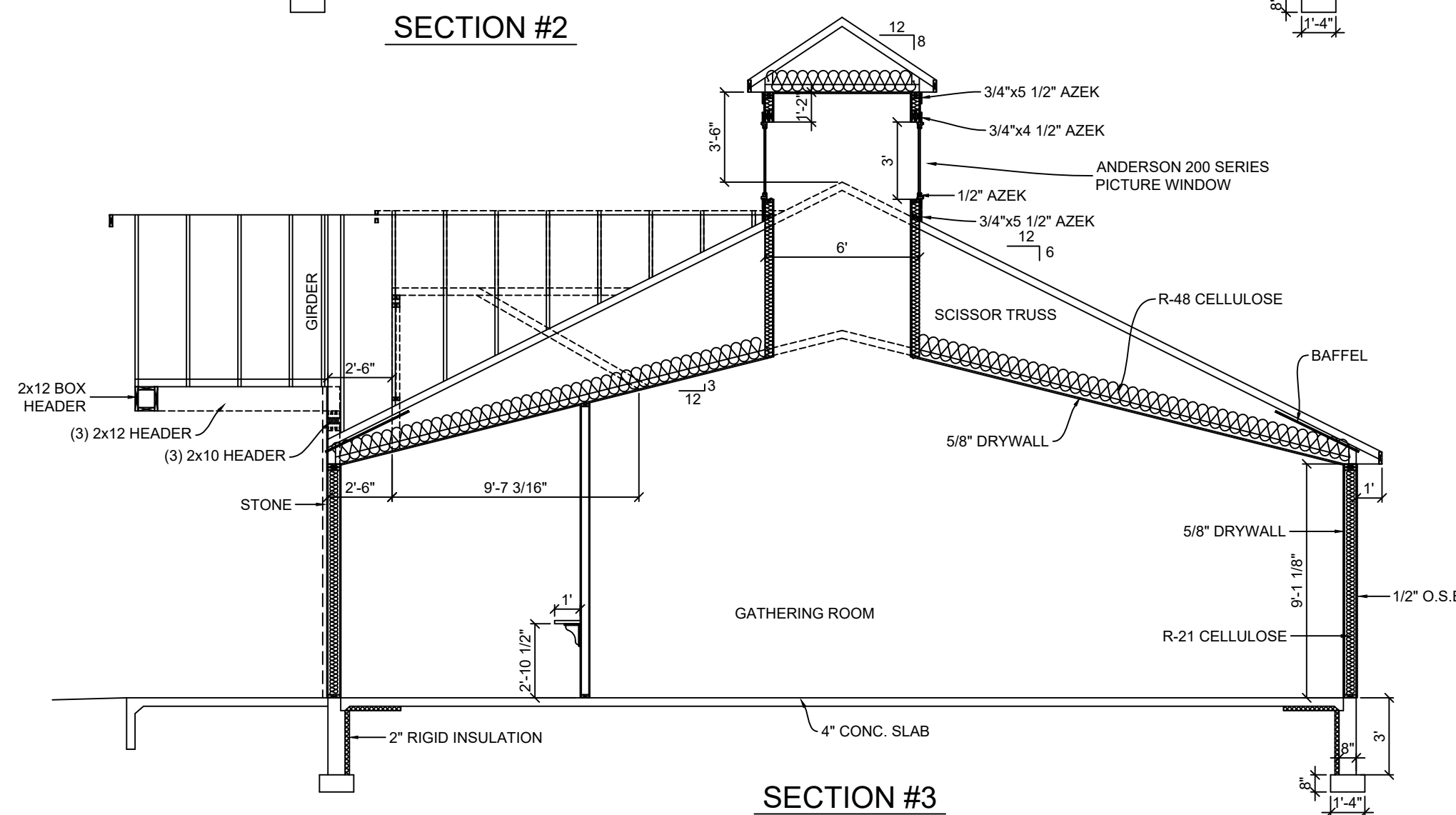
HEEL HEIGHT CHART
6/12 = 11 1/2"
8/12 = 13 1/2"



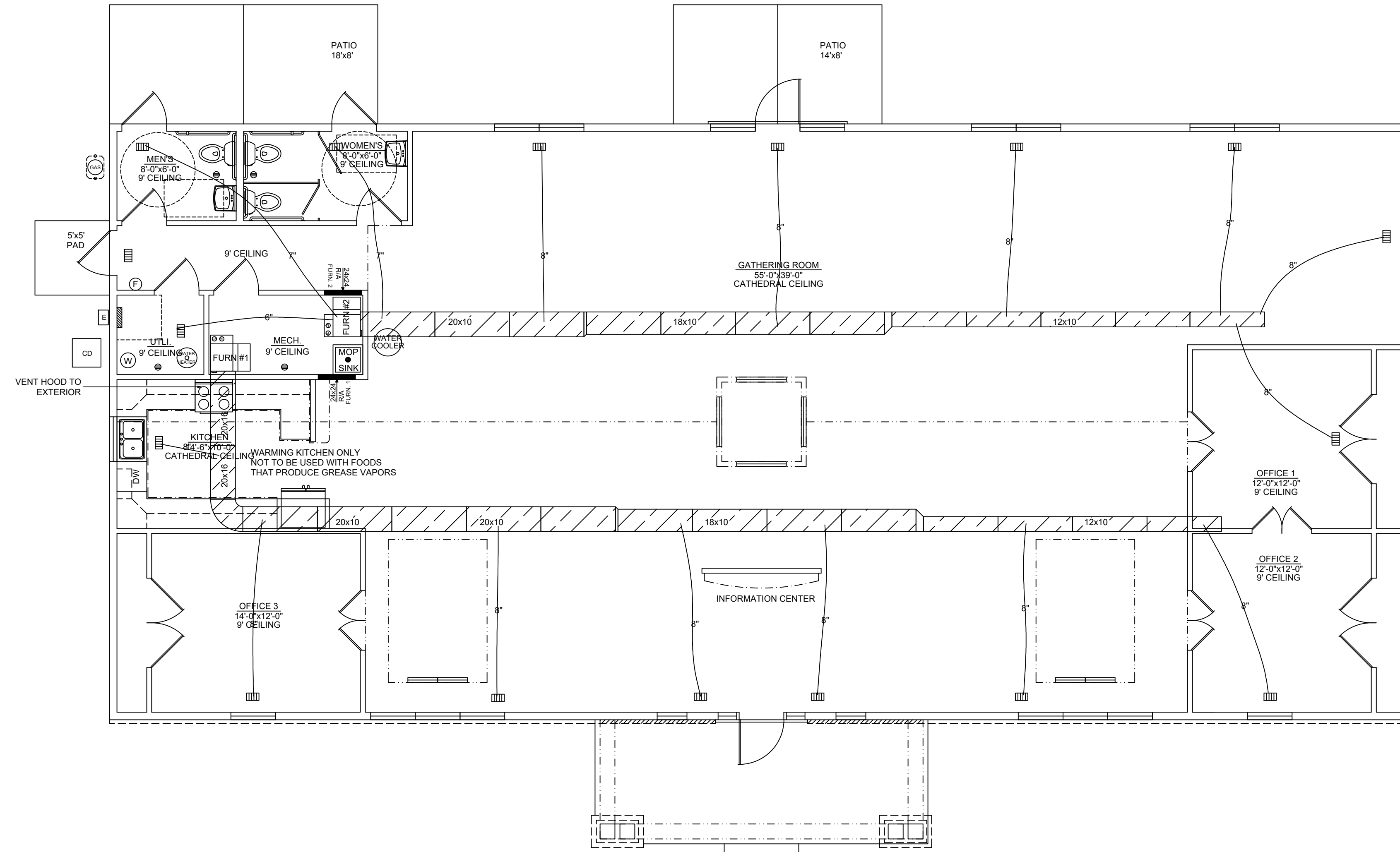
SECTION #1
SCALE: 1/2"=1'-0"



SECTION #2



SECTION #3



SQUARE FOOTAGE
3,500 SQ.FT.

MECHANICAL NOTE:
6" FRESH AIR INTAKE DUCT TO EACH UNIT FROM B-VENT PIPE THROUGH THE ROOF OR FROM OVERHANG.
HEATING DUCT WORK WILL BE DESIGNED BY MECHANICAL CONTRACTOR.

HEAT CALCULATIONS FURNACE #1 (BY BILLS HEATING):
HEAT LOSS: 54,007 BTU/HR
HEAT GAIN: 50,415 BTU/HR

FURNACE: TRANE XR95 (AFUE 95%)

AC UNIT: TRANE XR13 (4 TON 1 PHASE)

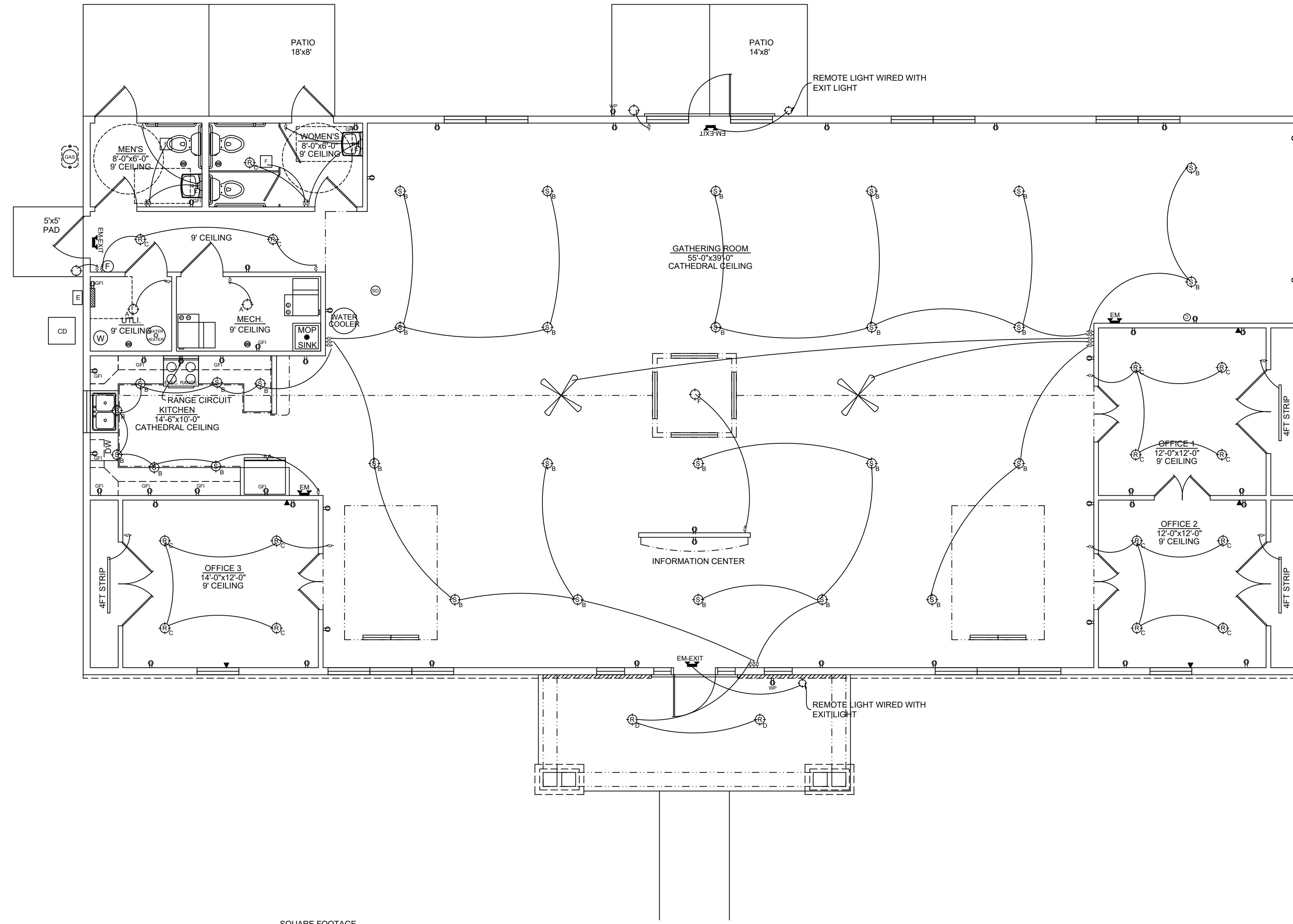
THERMOSTAT: HONEYWELL ENERGY SAVER PROGRAMMABLE 5-1-1 DAY

HEAT CALCULATIONS FURNACE #2 (BY BILLS HEATING):
HEAT LOSS: 54,007 BTU/HR
HEAT GAIN: 50,415 BTU/HR

FURNACE: TRANE XR95 (AFUE 95%)

AC UNIT: TRANE XR13 (4 TON 1 PHASE)

THERMOSTAT: HONEYWELL ENERGY SAVER PROGRAMMABLE 5-1-1 DAY

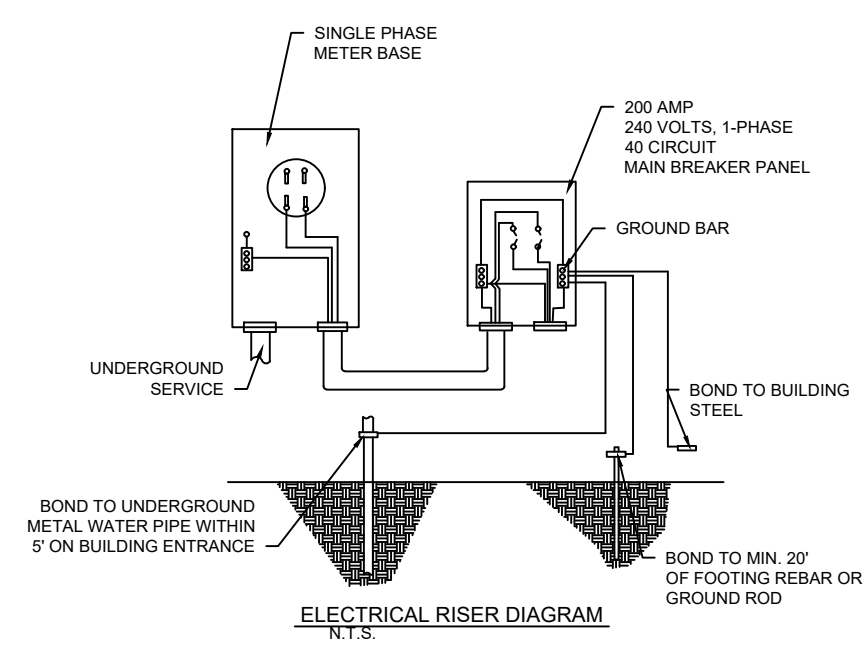


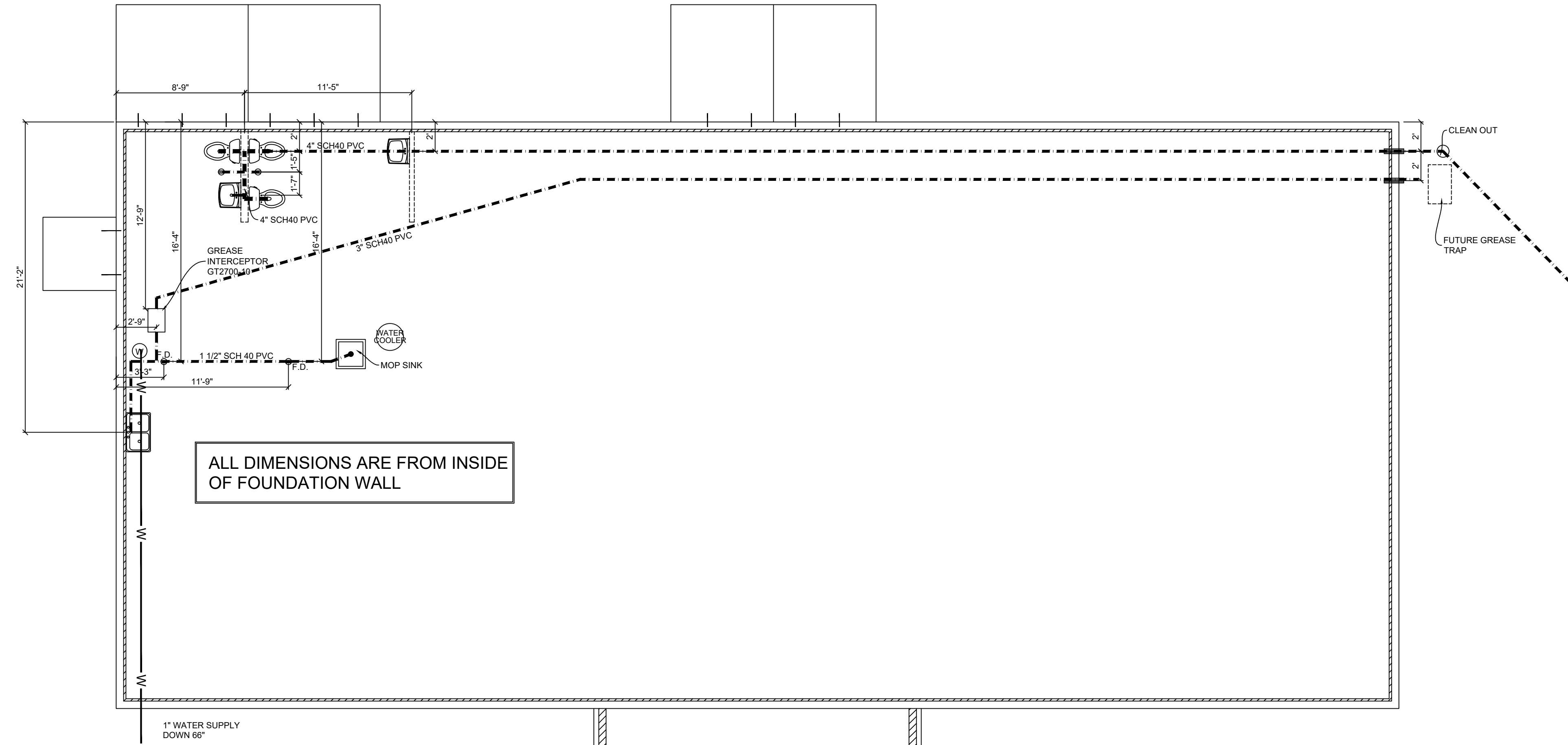
SQUARE FOOTAGE
3,300 SQ.FT.

LIGHT SCHEDULE	
(A)	KEYLESS CEILING LIGHT FIXTURE 1-75 WATT BULB
(S)	LITHONIA SLOPED RECESSED LIGHT LED 13 WATTS
(R)	LITHONIA RECESSED LIGHT LED 13 WATTS
(R2)	LITHONIA EXTERIOR RECESSED LIGHT LED 8.9 WATTS
(W)	DECORATIVE WALL FIXTURE (1) 60 WATT BULB
(C)	DECORATIVE CHANDELIER (4) LED 13 WATT BULBS
EM-EXIT	EMERGENCY / EXIT
EM	EMERGENCY LIGHT
(F)	EXHAUST FAN BROAN 75 CFM

ELECTRICAL SCHEDULE	
(S)	SINGLE POLE SWITCH
(3)	THREE-WAY SWITCH
(D)	110V DUPLEX OUTLET
(D2)	110V GFI OUTLET
(D3)	220V OUTLET
(C)	DATA / PHONE
(TV)	TELEVISION CABLE
(W)	WEATHER PROOF OUTLET
(E)	ELECTRIC METER BASE
(P)	ELECTRICAL SERVICE PANEL

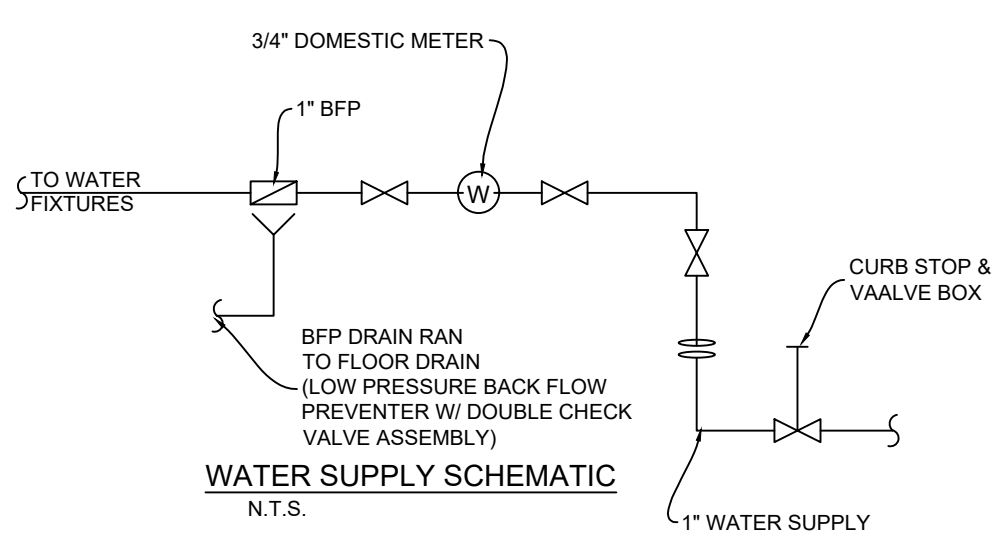
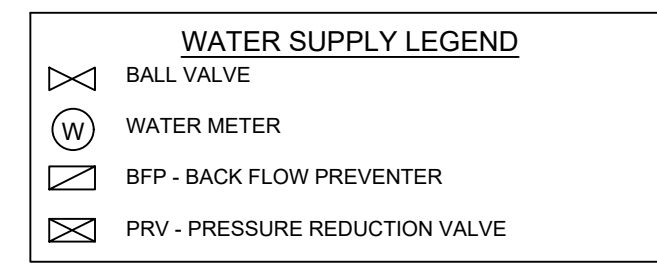
NOTE:
1. G.F.C.I. RECEIPTS ARE TO BE USED IN ALL REST ROOMS, EXAM ROOMS, AND MECHANICAL ROOMS
2. ALL REST ROOMS AND EXAM ROOMS ARE TO BE ON SEPARATE DEDICATED CIRCUITS FROM EACH OTHER.
3. ALL EXAM ROOMS NEED DOUBLE GROUNDED RECEIPTS.
4. ALL ELECTRICAL WIRING IN CORRIDORS ARE TO BE RUN IN CONDUIT.

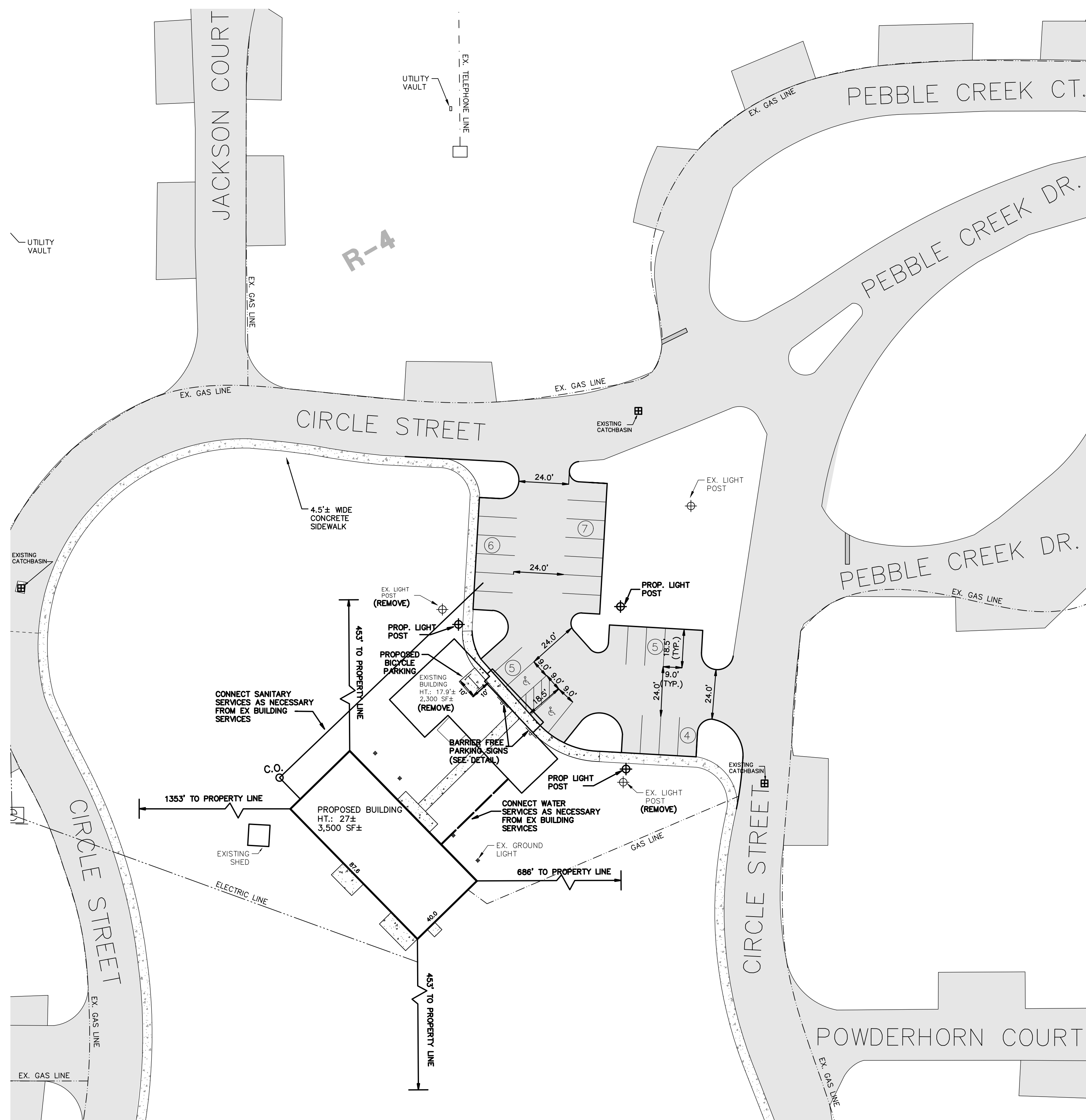




ALL DIMENSIONS ARE FROM INSIDE OF FOUNDATION WALL

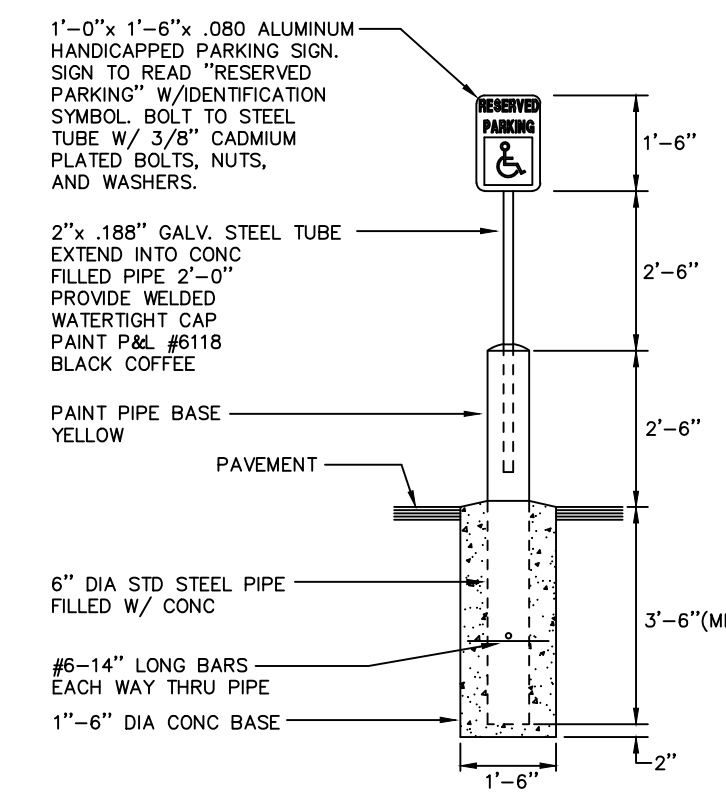
- DWV SPECIFICATIONS**
1. PIPE -PVC OR ABS SCHEDULE 40 AS SIZED PER DRAWING
 2. FITTINGS -ABS OR PVC WITH SOLVENT CEMENT
 3. VENTS -EXTEND THROUGH ROOF MINIMUM 6" ABOVE ROOF
 4. CLEAN OUTS SHALL BE PROVIDED TO MEET MICHIGAN PLUMBING CODE.
 5. ALL MATERIALS AND FIXTURES TO BE LISTED FOR THE USE INTENDED.
 6. ALL MATERIALS LISTED MAY NOT BE SUBSTITUTED WITHOUT APPROVAL BY BUILDING CONTRACTOR
 7. PLUMBING CONTRACTOR IS TO BE RESPONSIBLE FOR UNDERGROUND PLUMBING TO BE IN CORRECT POSITION TO FIT FRAMING WALLS AND OR UNINSTALLED DRAIN LINES AS INSTALLED.
 8. ALL PLUMBING AND INSTALLATION IS TO BE IN ACCORDANCE WITH THE MICHIGAN PLUMBING CODE, LATEST EDITION.
 9. EACH FLOOR SHALL HAVE A TRAP PRIMER SUPPLIED FROM THE NEAREST COLD WATER FAUCET.
- POTABLE WATER SUPPLY**
- | | |
|------------------|---|
| PIPE | -PEX TUBE SIZED PER UBC CODE |
| FITTINGS | -PEX TUBING FITTINGS AS SPECIFIED BY MANUFACTURE SPECS |
| PIPE SUPPORT | -PIPE TO BE SUPPORTED 48" O.C. |
| SHUT OFF VALVES | -TO BE USED AT ALL FIXTURES, WATER HEATER, AND WATER INLET |
| UNIONS | -REQUIRED AT WATER HEATER CONNECTIONS |
| T-P RELIEF VALVE | -3/4" RELIEF VALVE WITH A RELIEF TEMPERATURE OF 210 DEGREES F. AND A RELIEF PRESSURE OF 150 PSI |
- FIXTURES TO BE LISTED AND USED FOR THEIR INTENDED USE.



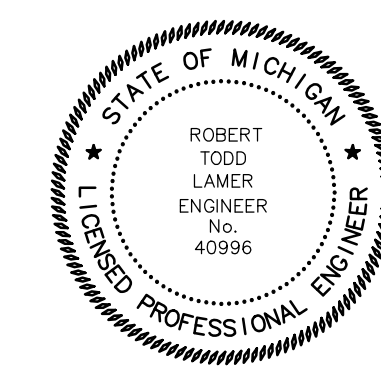


GENERAL NOTES

1. PARCEL NUMBER: 14-034-20-001-00
2. PROPERTY ADDRESS: 5280 S MISSION RD, MOUNT PLEASANT, MI, 48858
3. SITE AREA: 81.066 ACRES±
4. EXISTING ZONING: R-4, MOBILE OR MODULAR HOME PARK
5. ADJACENT ZONING: R-5, SINGLE-WIDE MOBILE HOME DISTRICT; R-3A, APARTMENT AND CONDOMINIUMS; B-4, GENERAL BUSINESS
6. PROPOSED NEW BUILDING USE:
 3 SALES OFFICES
 1 COMMUNITY CENTER FOR RESIDENTS ONLY
7. CORRECTIONS OF PUBLIC SAFETY DEFICIENCIES:
 A. 2 BARRIER FREE PARKING SPACES ADDED, SIDEWALK TO BUILDING ADDED
 B. BARRIER FREE PARKING SPACE DIMENSIONS, SIGNAGE, AND STRIPING ADDED
 C. DRIVEWAY WIDTH REDUCED ON EACH SIDE OF PARKING LOT TO 24 FT



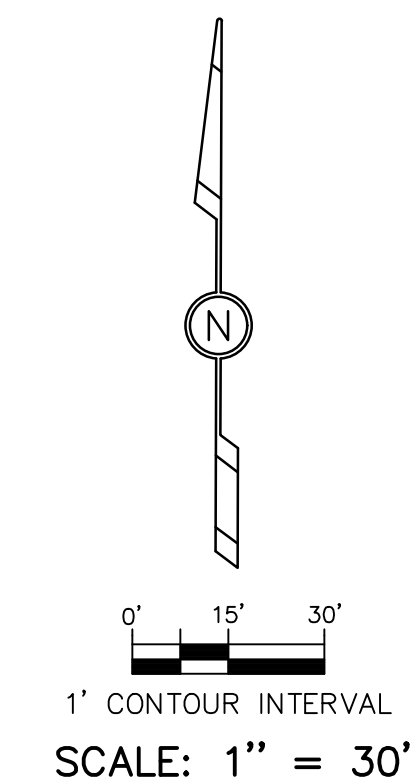
BARRIER FREE PARKING SIGN DETAIL




Know what's below.
Call before you dig.



VICINITY MAP
NOT TO SCALE



1" CONTOUR INTERVAL
SCALE: 1" = 30'

SITE PLAN		
SUMMERHILL VILLAGE COMMUNITY CENTER		
FOR: SCHROCK HOMES INC 2523 MESSICK DRIVE GOSHEN, IN 46526		
PART OF THE NE 1/4, SECTION 34, T14N, R4W, MOUNT PLEASANT, UNION TOWNSHIP, MICHIGAN		
		SHEET 1 of 1
DRAWN BY: HMV APPROVED BY: RTL FILE NO.: 211625E	PROJ. ENG.: PROJ. SURV.: DATE: 06/30/2021	
07/27/21 PRELIMINARY TWP. SUBMITTAL		HMV

COMBINED PRELIMINARY - FINAL SITE PLAN REPORT

TO:	Planning Commission	DATE:	August 9, 2021
FROM:	Peter Gallinat, Zoning Administrator	ZONING:	R-4 Mobile Home Park District
PROJECT:	PSPR 21-14 and PSPR 21-16 Combined Preliminary-Final Site Plan Approval application for the Summerhill Village Mobile Home Park – New Clubhouse and Parking Lot Improvements		
PARCEL(S):	PID 14-034-20-001-00		
OWNER(S):	The Four-Leaf Companies		
LOCATION:	Approximately 81.066 acres located at 5280 S. Mission Road in the NE1/4 of Section 34.		
EXISTING USE:	Mobile home park office	ADJACENT ZONING:	AG, B-4, R-3A, and R-2B
FUTURE LAND USE DESIGNATION:	<i>Residential Attached:</i> This land use category covers a variety of attached dwelling units and includes areas planned for both medium- and high-density residential development including duplexes, attached condominiums, townhomes, and flats.		
ACTION REQUESTED:	To review and take action to approve, deny, or approve with conditions the PSPR 21-14 and PSPR 21-16 combined preliminary and final site plan with an Exxel Engineering sheet dated 6/30/2021 and additional sheets as provided by Atwell Group, Shrock Commercial Construction, and the Dave Baker Agency.		

Background Information

Site Plan Approval Process

Per Section 14.2.C. of the Zoning Ordinance, both preliminary site plan approval and final site plan approval are required for this project. Per Section 14.2.J., approval of a preliminary site plan by the Planning Commission “*shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas.*” Planning Commission approval of a final site plan “*constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met*” (Section 14.2.L.). Documentation of applicable outside agency permits and approvals will be required as part of a final site plan application.

Project Information

In 2019, the Four Leaf Companies purchased the former Pleasant Ridge Mobile Home Park. In addition to renaming it Summerhill Village, the new owners have undertaken an extensive program of renovation, modernization, and improvements to this older housing development. Although much more work is planned, the results have already been significant in terms of the

park's appearance and upgraded quality and character of homes brought into the development. The current project involves demolition and replacement of the park's office and clubhouse, which is subject to site plan approval.

Site Plan Documentation

A preliminary site plan, PSPR21-14 was submitted for review at the June 2021 Planning Commission meeting however, this item was postponed by the Planning Commission. Since that time, multiple consultant agencies have collaborated to provide the necessary information for review. The updated plans have been submitted as a combined preliminary-final site plan approval application, and include the following sheets:

1. Atwell-Group provided a survey of the property.
2. Exxel Engineering provides a one-page site plan sheet dated 6/30/2021.
3. Shrock Commerical Construction provided the Landscaping plan dated 7/20/2021 (L1) and the following other sheets dated 6/9/2021:
 - a. Title sheet of project (T1);
 - b. Energy Code Requirements (T2);
 - c. Life Safety Plan (T3);
 - d. Foundation Plan/Details (S1);
 - e. Floor Plan (A1);
 - f. Elevations (A2);
 - g. Mechanical Plan (M1);
 - h. Electrical Plan (E1); and
 - i. Plumbing Plan (P1).
4. The Dave Baker Agency Lighting and Controls contributed the lighting plan page 1 of 1 titled Visual.

Nonconforming Site

The project's location is part of an existing mobile housing park originally developed before the current site development standards were established. As such, it is subject to the provisions of Section 12.5 (Nonconforming Sites). This Section encourages improvements to existing nonconforming sites in the Township without a complete upgrade of all site elements by first prioritizing improvements to correct public safety deficiencies (Section 12.5.B.), and second by establishing a menu of ten (10) other categories of potential improvements and requiring a minimum of three (3) of these improvements to be addressed on the site plan (Section 12.5.C.). Finally, the Section includes a statement that a nonconforming site shall not be improved or modified in a manner that increases its nonconformity.

1. **Public safety concerns.** The updated plans satisfy all concerns from staff related to for public safety deficiencies. **CONFORMS.**
2. **Scope of additional improvements.** To satisfy Section 12.5.C., the site plan needs to show improvements in at least three (3) categories from the list in this subsection. The

following are the 3 areas that the site plan demonstrates improvement:

- a) The project shows improvements under the category of *(4) building design or exterior façade improvements* as demonstrated on floor plans (A1) and elevation (A2) drawings of the new building in the site plan set. **CONFORMS.**
- b) The project shows improvements under the category of *(6) landscaping improvements*, which details new landscaping and related site beautification measures associated with the new clubhouse construction area on the Landscaping plan (L1). New tree and shrub plantings conform to the minimum size standards listed in Section 10.4 (Standards for Landscape Materials). **CONFORMS.**
- c) The project shows improvements under the category of *(8) exterior lighting improvements*, as demonstrated on the lighting plan submitted. No building-mounted fixtures are proposed on the plan. The manufacturer’s specifications are shown for proposed parking lot lighting and a photometric plan is provided but the following missing detail is needed to verify compliance with Section 8.2 (Exterior Lighting):
 - Add a picture or elevation drawing of the proposed new twenty-foot tall freestanding pole light fixtures to a revised final site plan, with the height labeled as measured from grade to the top of the fixture.

Combined Preliminary-Final Site Plan Review Comments

The following comments are based on the standards for preliminary and final site plan approval and specific elements of the proposed site plan:

1. **Section 14.2.P. (Required Site Plan Information).** The combined preliminary and final site plan was not assembled into one set consistent with the Township’s preferred format, but does meet the minimum Section 14.2.P. information requirements for a final site plan. **CONFORMS.**
2. **Section 8 (Environmental Performance Standards).** The applicant has provided the required documentation to confirm compliance with this Section. **CONFORMS.**
3. **Section 9 (Off-Street Parking).** The calculations and arrangement of proposed vehicular parking facilities on the site plan conforms to the requirements of Section 9. **CONFORMS.**
4. **Section 7.10 (Sidewalks and Pathways).** There is an existing paved pathway along S. Mission Road. No further sidewalk installation is required at this time. **CONFORMS.**
5. **Consistency with the Master Plan.** The new office/clubhouse use is consistent with the Master Plan. **CONFORMS.**
6. **Consistency with Mobile Home Park standards.** The new office/clubhouse use is consistent with the applicable standards of the R-4 District listed in Section 3.12 (R-4, Mobile Home Park District). **CONFORMS.**
7. **Outside agency approvals.** Per Section 14.2.S. (Standards for Site Plan Approval), the

applicant is responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval. These include the Mt. Pleasant Fire Department, Isabella County Transportation Commission, the Township Public Services Department, and Storm Water approval from the Isabella County Drain office. Approvals are still needed from these agencies.

- ❑ Copies of all outside agency permits and approval letters will need to be submitted to Township staff as part of the revised site plan submittal.

Objective

The Planning Commission shall review the application materials and site plan, together with any reports and recommendations. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to approve the site plan, to approve the site plan with conditions, to deny the site plan application, or to postpone further consideration of the site plan to a date certain in accordance with Section 14.2.H. of the Zoning Ordinance.

Key Findings

The project is consistent with the Master Plan, and with the Zoning Ordinance's Mobile Home Park standards. The site plan project still needs outside agency approval from required agencies, but is sufficiently complete for Planning Commission final site plan review.

Recommendations

Based on the above findings, I would ask that the Planning Commission consider taking action to approve the PSPR 21-14 and PSPR 21-16 combined preliminary and final site plan with an Exxel Engineering sheet dated June 30, 2021 and additional sheets as provided by Atwell Group, Shrock Commercial Construction, and the Dave Baker Agency, subject to the following conditions:

1. Submittal to the Zoning Administrator of documentation of the missing outside agency approvals from the Mt. Pleasant Fire Department, the Isabella County Transportation Commission, the Township Public Services Department, and the Isabella County Drain office for Storm Water approval, prior to issuance of a building permit.
2. Submittal of a revised final site plan with the missing exterior lighting detail for administrative review and acceptance by the Zoning Administrator, prior to issuance of a building permit.

Please contact me at (989) 772-4600 ext. 241, or via email at pgallinat@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Peter Gallinat, Zoning Administrator

Community and Economic Development Department

Draft Motions: PSPR 21-14 and PSPR21-16 Summerhill Village Mobile Home Park Improvements – Combined Preliminary and Final Site Plan Review Application

MOTION TO APPROVE:

Motion by _____, supported by _____, to approve the PSPR 21-14 and PSPR 21-16 combined preliminary and final site plan for the new clubhouse and parking lot improvements at the Summerhill Village Mobile Home Park on parcel number 14-034-20-001-00, located at 5280 S. Mission Road in the northeast quarter of Section 34 and in the and in the R-4 (Mobile Home Park) zoning district, finding that the site plan set with an Exxel Engineering sheet dated June 30, 2021 and additional sheets as provided by Atwell Group, Shrock Commercial Construction, and the Dave Baker Agency fully complies with applicable Zoning Ordinance requirements for final site plan approval, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval).

MOTION TO APPROVE WITH CONDITIONS:

Motion by _____, supported by _____, to approve the PSPR 21-14 and PSPR 21-16 combined preliminary and final site plan for the new clubhouse and parking lot improvements at the Summerhill Village Mobile Home Park on parcel number 14-034-20-001-00, located at 5280 S. Mission Road in the northeast quarter of Section 34 and in the and in the R-4 (Mobile Home Park) zoning district, finding that the site plan set with an Exxel Engineering sheet dated June 30, 2021 and additional sheets as provided by Atwell Group, Shrock Commercial Construction, and the Dave Baker Agency can comply with applicable Zoning Ordinance requirements for final site plan approval, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval), subject to the following condition(s):

- 1. Submittal to the Zoning Administrator of documentation of the missing outside agency approvals from the Mt. Pleasant Fire Department, the Isabella County Transportation Commission, the Township Public Services Department, and the Isabella County Drain office for Storm Water approval, prior to issuance of a building permit.
- 2. Submittal of a revised final site plan with the missing exterior lighting detail for administrative review and acceptance by the Zoning Administrator, prior to issuance of a building permit.

MOTION TO POSTPONE ACTION:

Motion by _____, supported by _____, to postpone action on the PSPR 21-14 and PSPR 21-16 combined preliminary and final site plan for the new clubhouse and parking lot improvements at the Summerhill Village Mobile Home Park at 5280 S. Mission Road until _____, 2021 for the following reasons:

Draft Motions: PSPR 21-14 and PSPR21-16 Summerhill Village Mobile Home Park Improvements – Combined Preliminary and Final Site Plan Review Application

MOTION TO DENY:

Motion by _____, supported by _____, to deny the PSPR 21-14 and PSPR 21-16 combined preliminary and final site plan for the new clubhouse and parking lot improvements at the Summerhill Village Mobile Home Park on parcel number 14-034-20-001-00, located at 5280 S. Mission Road in the northeast quarter of Section 34 and in the and in the R-4 (Mobile Home Park) zoning district, finding that the site plan set with an Exxel Engineering sheet dated June 30, 2021 and additional sheets as provided by Atwell Group, Shrock Commercial Construction, and the Dave Baker Agency does not comply with applicable Zoning Ordinance requirements, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval), for the following reasons:

TO:	Planning Commission	DATE:	August 4, 2021
FROM:	Rodney C. Nanney, AICP, Community and Economic Development Director		
SUBJECT:	Planning for a return to in-person Planning Commission meetings.		

Background Information

The Planning Commission last held an in-person public meeting on February 18, 2020, with COVID19 virus pandemic-related shutdowns taking hold beginning soon afterwards. While the pandemic continues to affect our state, county, and community, all of the previous state orders limiting in-person public meetings have been lifted.

The Board of Trustees held their first in-person regular meeting in the Township Hall Board Room on July 28, 2021. The Township Hall is open to the public, but the Community and Economic Development Department staff continue to hold most meetings with applicants and others remotely via the Zoom app whenever possible.

The communications technology in the Township Hall Board Room remains fully capable of recording and broadcasting any public meeting to the Township's public access channel. However, it is not configured for two-way communication with remote attendees, so holding a potential "hybrid" meeting under which one or more commissioners attend and participate remotely is not an option if we return to the in-person format.

Under the state Open Meetings Act (Public Act 267 of 1976, as amended) and the local State of Emergency declaration adopted by the Isabella County Board of Commissioners, the Planning Commission can continue to hold electronic meetings for any reason through 12/31/2021.

Recommendation

I would recommend that the Planning Commission consider whether to resume in-person meetings, and if so to consider when to make that change. Options for action include:

1. Motion to discontinue electronic meetings and resume meeting in-person at-the Township Hall beginning with the September 21, 2021 regular meeting.
2. Motion to continue electronic meetings through December 31, 2021 as long as the county's emergency declaration remains in effect.

Please contact me at (989) 772-4600 ext. 232 or via email at rnanney@uniontownshipmi.com with any questions or concerns.

Respectfully submitted,

Rodney C. Nanney, AICP

Community and Economic Development Director